



RESORT MUNICIPALITY OF WHISTLER

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STAFF REPORT TO COUNCIL

PRESENTED: June 11, 2024 **REPORT:** 24-061
FROM: Planning - Development **FILE:** 3060-20-1961, 3360-20-1184
SUBJECT: DP001961 – 1000 ALPHA LAKE ROAD – ADDITIONAL EMPLOYEE HOUSING
AND HOUSING AGREEMENT BYLAW (1000 ALPHA LAKE ROAD) NO. 2438,
2024

RECOMMENDATION FROM THE CHIEF ADMINISTRATIVE OFFICER

That the recommendation of the General Manager of Climate Action, Planning and Development Services be endorsed.

RECOMMENDATIONS

That Council approve the issuance of Development Permit DP001961 (DP001961), which is an amendment to issued Development Permit DP001337 (DP001337) for additional employee housing and site planning, building and landscape alterations at 1000 Alpha Lake Road, with permit terms and conditions as follows:

1. DP001337 is amended as follows:
 - a) Schedule A of DP001337 is amended in accordance with the architectural and landscape drawings (Drawings) attached as Appendix A and listed for reference as Appendix B to Administrative Report No. 24-061;
 - b) Section 4(k) of DP001337 is deleted and replaced with the following:
 - k. Prior to any construction of buildings on proposed Lot 1 (as shown on the Drawings attached as Appendix A to Administrative Report No. 24-061) provide a security amount of \$185,584.37, to ensure that the hard and soft landscaping works are carried out consistently with the terms and conditions of Development Permit DP001337, with the security to be administered in accordance with *Council Policy G-09: Landscape Security for Development Permit*.
2. Prior to construction of any buildings on proposed Lot 2 (as shown on the Drawings attached as Appendix A to Administrative Report No. 24-061) a security amount of \$255,355.63 must be provided, to ensure that the hard and soft landscaping works are carried out consistently with the terms and conditions of Development Permit DP001961, with the security to be administered in accordance with *Council Policy G-09: Landscape Security for Development Permit*,
3. The Resort Municipality of Whistler “Zoning and Parking Bylaw No. 303, 2015” is varied as follows:

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- a) The maximum building height is increased from 12 metres to 13 metres, as shown on the architectural plans attached as Appendix A to Administrative Report No. 24-061; and
- b) The requirement under Part 6, Section 4(4) that states that when “...a building is enlarged, altered, or a change in the use occurs which requires a greater number of parking or loading spaces, the additional parking or loading spaces required under the provisions of this Part shall be provided...” is not applicable for future alterations or changes in use of the commercial units in the proposed buildings on proposed Lot 2 provided that (a) a minimum of 42 parking spaces be available on proposed Lot 2 for use by non-residential users, and (b) the building alteration or change in use is consistent with the applicable regulations of the IS5 Zone; and further

That Council consider giving first, second and third readings to “Housing Agreement Bylaw (1000 Alpha Lake Road) No. 2438, 2024”.

PURPOSE OF REPORT

This report presents a development permit (DP) and housing agreement bylaw for Council consideration. Both matters are for the purpose of revising the approved development for proposed Lot 2 at 1000 Alpha Lake Road, and both are described in more detail below.

1. Development Permit (DP001961) is an application for modifications to previously issued DP001337 to replace the purpose-built brewery with a mixed-use commercial/residential building. The revised plan adds 24 additional employee housing units (EHU), adds additional landscaping and outdoor areas for residents, includes a minor variance to the maximum building height from 12 to 13 metres to facilitate improved energy performance, and includes an opportunity for a future parking variance to the number of parking stalls required for future alterations or changes in use of the commercial units in the proposed buildings on proposed Lot 2 provided a minimum of 42 non-residential parking stalls continues to be maintained.
2. “Housing Agreement Bylaw (1000 Alpha Lake Road) No. 2438, 2024” (Proposed Bylaw) will enable the Resort Municipality of Whistler (RMOW) to enter into a housing agreement and covenant for the proposed 72 EHUs located at 1000 Alpha Lake Road to reflect the increase in the number of EHUs from 48 to 72, and also to update definitions and terms to be consistent with RMOW employee housing policies and standard terms.

This report recommends that Council approve the issuance of DP001961 and further recommends that Council consider giving first, second and third readings to the Proposed Bylaw.

Information Report

Administrative Report (Decision or Direction)

DISCUSSION

Background and Site Context

DP001961 was received by Council on [April 9, 2024 \(Administrative Report No. 24-037\)](#) in conjunction with Council’s consideration of first, second and third readings to “Zoning Amendment Bylaw (1000 Alpha Lake Road) No. 2436, 2024” (Bylaw 2436). Bylaw 2436 adjusted the zone boundary between the IS5 zone and CS2 zone applicable to 1000 Alpha Lake Road to be congruous with the proposed parcel boundary. This resolved a split zoning limitation, and in doing so allows the revised development plan, which proposes 72 EHUs, an increase of 24 units over the previous development plan. Council adopted Bylaw 2436 on May 14, 2024.

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1000 Alpha Lake Road is owned by the Lílwat Nation. The 2.15 ha (5.3 acre) parcel is located at the entrance to Function Junction at 1000 Alpha Lake Road and is bounded by Highway 99, Alpha Lake Road and the railway tracks (see Appendix C - Location Map).

Analysis

1. DP001961

The purpose of DP001961 is to amend issued DP00137 to remove the purpose-built brewery building and replace it with a mixed-use commercial /residential building and make other consequential changes to the site plan and landscaping. Specifically, the amendments proposed under DP001961 result in an increase of 24 EHUs, for a total of 72 EHUs (192 Bed Units), as shown in the table below:

BUILDING	UNIT TYPE	NUMBER OF UNITS	TOTAL
A	1 bedroom	4	20
	2 bedroom	12	
	3 bedroom	4	
B	1 bedroom	16	32
	2 bedroom	16	
	3 bedroom	0	
C	1 bedroom	4	20
	2 bedroom	12	
	3 bedroom	4	

In addition to the replacement of the brewery building with a mixed use/employee housing building, other proposed amendments under DP001961 include:

- additional parking to accommodate the increase in EHUs;
- removal of the outdoor patio area that was associated with the brewery;
- a new open space at the far west of the site to offer gathering/park space for residents/visitors to the site;
- additional seating and enhancements to the open spaces;
- enhanced landscaping throughout;
- accessible parking in close proximity to the building entrances;
- slightly widened sidewalks for improved pedestrian circulation; and
- request for a building height variance from 12 metres to 13 metres to facilitate improved energy performance.

Previously issued DP001337 will remain in effect, and will remain unchanged except for the amendments presented in this staff recommendation, namely the substitution and addition of a number of the drawings to reflect the revised proposal, and an update to the landscape security requirement to specify that the landscape security for Lot 1 is less the amount of the security that will be taken for the landscape on Lot 2, which is required prior to the construction of any buildings on Lot 2, as a condition of DP001961.

The subject property is in the Development Permit Areas for Aquifer Protection, Commercial/Industrial (form and character), Multi-Family Residential (form and character), and Wildfire Protection. The proposal under DP001961 is exempt from Aquifer Protection. A detailed evaluation of the proposal relative to the applicable DP area guidelines is presented in Appendix D. The proposal is consistent with the applicable guidelines.

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Zoning Analysis

The subject property is zoned Industrial Service Five (IS5). Except for the noted building height variance, the proposal is consistent with the regulations of the IS5 Zone and all regulations of the “Zoning and Parking Bylaw No. 303, 2015”.

The proposal provides a total of 141 parking spaces, slightly exceeding the minimum requirement of 96 spaces for residential and 42 spaces for non-residential. No variance is requested with respect to the number of spaces that are required. However, DP001961 includes an opportunity for a future parking variance to the number of parking stalls required for future alterations or changes in use of the commercial units in the proposed buildings on proposed Lot 2 provided a minimum of 42 non-residential parking stalls continues to be maintained. This variance will reduce uncertainty for the owners and potential tenants at time of business licence application and will relieve the property owner and staff from the requirement of recalculating parking requirements for any change in use permitted under the applicable zoning.

Advisory Design Panel

The Advisory Design Panel (ADP) considered the proposal at their meeting of December 20, 2023. The panel members were supportive of the revised development plan and offered recommendations to make improvement to the outdoor space and resident experience, suggesting improvements to the landscaping, the streetscape, seating and the general pedestrian experience. Revised plans were submitted that address the ADP comments, and offer additional outdoor gathering space, landscape improvements throughout, additional seating in gathering spaces, and widened sidewalks. The ADP review is more fully addressed in [Administrative Report No. 24-037](#).

2. Housing Agreement Bylaw (1000 Alpha Lake Road) No. 2438, 2024

The Proposed Bylaw is presented for Council consideration for first, second and third readings. The purpose of this bylaw is to amend the existing housing agreement to reflect the revised development proposal and update outdated definitions and terms. The original housing agreement that is registered on the subject lands referenced the development plans approved under DP001337, and since DP001961 would approve revised development plans, the housing agreement has been revised to reflect this. The housing agreement also makes minor updates to language and definitions, to reflect current standards. Specifically, the definition of “Employee” is updated, the definition of “Retiree” is added, the former definition of “Qualified Business” is replaced with the updated “Qualified Whistler Business” definition, the former “Core Consumer Price Index” definition is replaced with the updated “Consumer Price Index” definition, and language related to unit occupancy and remedies for non-remittance of the statutory declaration is updated to reflect current terms.

Staff note that the existing housing agreement was entered into under the requirements of the Employee Works and Services Bylaw, and as such there was no price restriction on the units, only an occupancy restriction. The Proposed Bylaw does not change this.

POLICY CONSIDERATIONS

Relevant Council Authority/Previous Decisions

Council has the authority to issue a DP with variances, under s. 490 of the *Local Government Act* (LGA).

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Section 483 of the LGA provides the authority for local governments to enter into agreements for affordable housing that restrict the occupants and address matters including the form of tenure, rents and leases, and administration and management of the housing units.

Previous Council decisions respecting the proposed development of 1000 Alpha Lake Road are listed below:

[April 9, 2024: Administrative Report No. 24-037](#), Zoning Amendment Bylaw (1000 Alpha Lake Road) No. 2436, 2024 and DP001961 – 1000 Alpha Lake Road

[February 8, 2022: Administrative Report No. 22-017](#), DP1337 – 1000 Alpha Lake Road – Development Permit Issuance

[April 16, 2019 \(2:23:40\): Administrative Report No. 19-049](#), DP1337 – 1000 Alpha Lake Road – Housing Agreement Bylaw (Function Junction) No. 2232, 2019

October 3, 2017: [Administrative Report No. 17-107](#), DP1337 – DL8078 – Function Junction Master Planned Mixed Use Development

2023-2026 Strategic Plan

The 2023-2026 Strategic Plan outlines the high-level direction of the RMOW to help shape community progress during this term of Council. The Strategic Plan contains four priority areas with various associated initiatives that support them. This section identifies how this report links to the Strategic Plan.

Strategic Priorities

Housing

Expedite the delivery of and longer-term planning for employee housing

Climate Action

Mobilize municipal resources toward the implementation of the Big Moves Climate Action Plan

Community Engagement

Strive to connect locals to each other and to the RMOW

Smart Tourism

Preserve and protect Whistler's unique culture, natural assets and infrastructure

Not Applicable

Aligns with core municipal work that falls outside the strategic priorities but improves, maintains, updates and/or protects existing and essential community infrastructure or programs

Community Vision and Official Community Plan

The Official Community Plan (OCP) is the RMOW's most important guiding document that sets the community vision and long-term community direction. This section identifies how this report applies to the OCP.

As noted in the Analysis section of this report, the subject property is in the Development Permit Areas for Aquifer Protection, Commercial/Industrial (form and character), Multi-Family Residential (form and character), and Wildfire Protection. The proposal under DP001961 is exempt from Aquifer Protection as per exemption (b) which states that “activities on the lands identified on Schedule L that do not involve the use, storage, processing, manufacturing or sale of chemicals, substances or compounds, whether in solid, liquid or gaseous form, that could migrate into the ground and affect the groundwater aquifer, other than the use of a motor vehicle on the land.” Under the original DP for the site (DP001337) the aquifer DP guidelines were applicable, and the terms of DP001337 include requirements with respect to protection measures. The revision considered under DP001961 do not trigger need for reconsideration

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of the aquifer protection measures. The measures in place for the service station remain in place and are unaffected by DP001961.

A detailed evaluation of the proposal relative to the applicable OCP Development Permit Area guidelines is attached as Appendix D. The proposal is consistent with the applicable guidelines.

The use of housing agreements is an essential tool in achieving the RMOW's OCP goals and objectives related to securing and maintaining affordable employee housing for the Whistler resort community. The following OCP policies also provide guidance for the development of these agreements:

5.1.3.2. Policy: Use housing agreements, covenants and bylaws to ensure housing is occupied as intended for employee housing; and

5.1.2.8. Policy: Ensure employee housing is occupied consistent with restrictions related to price, use, resale, eligibility and other conditions.

The Proposed Bylaw will ensure that the development proposed for 1000 Alpha Lake Road facilitates the creation of employee housing in perpetuity aligned with current municipal policies and goals for employee housing.

BUDGET CONSIDERATIONS

The municipality's direct costs of processing and reviewing the DP application are covered through the DP application fees. Legal costs associated with the Housing Agreement are billed to the applicant.

LÍLWAT NATION & SQUAMISH NATION CONSIDERATIONS

The RMOW is committed to working with the Lílwat People, known in their language as *L'il'wat7úl* and the Squamish People, known in their language as the *Skwxwú7mesh Úxwumixw* to: create an enduring relationship; establish collaborative processes for Crown land planning; achieve mutual objectives; and enable participation in Whistler's resort economy. This section identifies areas where RMOW activities intersect with these relationships.

The Lílwat Nation owns the subject lands pursuant to the Legacy Land Agreement, an important outcome of the 2010 Games. The planned mixed-use development provides Lílwat Nation long-term economic investment in Whistler, as well as an increased presence in Whistler.

COMMUNITY ENGAGEMENT

Level of community engagement commitment for this project:

Inform Consult Involve Collaborate Empower

A Development Notification Sign has been posted on the property as per the application requirements. No comments or concerns have been received by staff as of the time of writing this report.

There are no notification requirements under the LGA for a Housing Agreement Bylaw.

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REFERENCES

Appendix A – Site Plans, Landscape Plans and Architectural Drawings
Appendix B – Drawing List
Appendix C – Location Map
Appendix D – OCP DP Guidelines Review

“Housing Agreement Bylaw (1000 Alpha Lake Road) No. 2438, 2024” (included in Council package)

SUMMARY

The report presents a DP and a housing agreement bylaw for consideration, which are for the purpose of allowing revisions to the proposed development at Lot 2, 1000 Alpha Lake Road.

DP001961 will allow revisions to the development plan for proposed Lot 2, to replace the purpose-built brewery with a mixed-use building that will add employee housing and will offer additional warehouse/commercial space on the ground floor. Other minor changes that are part of the revised development plan include additional parking based on the different use, additional open space and gathering spaces for both residents and visitors, improved landscaping, and minor changes to the exterior materials and colours, all consistent with the applicable OCP DP guidelines. DP001961 includes a building height variance of one metre, and staff recommend that the DP vary the requirement to recalculate the non-residential parking for future alterations or changes in use of the commercial units in the proposed buildings on proposed Lot 2.

The Proposed Bylaw will repeal the existing housing agreement and replace it with a new agreement that includes the revised development plans and additional EHUs, as well as minor changes to update language, definitions, occupancy and reporting obligations, all to reflect the current RMOW employee housing polices and standard terms.

Staff recommend that Council approve the issuance of DP001961 as laid out in the recommendation of this report, and further that Council give first, second and third readings to the Proposed Bylaw.

SIGN-OFFS

Written by:

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Planner

Reviewed by:

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Virginia Cullen,
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(e) dan@murphyconstruction.ca
Contact:

LOT 2 Total Parking Calculations

24/3/15

REQUIRED:	Commercial/Industrial Parking Req.	No of Stalls
LOT 2 :		
1442 m2	Industrial @ 1/100m2	14.4
96 m2	Retail @ 4/100m2 GFA	3.8
72 m2	Restaurant @5/100m2	3.6
361 m2	Research/Indoor Rec @ 2/100m2	7.2
433 m2	Office @ 3/100m2 GFA	13.0
2404 m2 GFA	<i>excludes parkade</i>	42
CURRENT COMMERCIAL GFA: = 2404.56 m2		
	Resident Parking Req.	
	24 units@ 1 car, 48 units @ 1.5 cars:	96
	24+72=96 cars	
	TOTAL PARKING REQUIRED: = 138 CARS	
PROVIDED :		
LOT 2:	92 surface stalls (incl. 3 HC/accessible) + 3 loading	
	49 underground parkade	Lot 2 Total: 141 cars
	TOTAL PARKING PROVIDED: = 141 CARS	
	141 cars including 4 EV charging stalls & 3 Accessible stalls	
	+ plus 3 loading	

Development Statistics - Lot 2

24/3/15

Civic Address: 1000 Alpha Lake Road, Whistler, B.C.
Legal: DL 8078, GROUP1, N.W.D.
Zone: IS5, Industrial Service Five

TOTAL Site Area: 2.15 ha	231,531.70 sq.ft.	21,510.00 m2
LOT 2 (IS-5) Area: 1.612 ha	173,514.23 sq.ft.	16,120.00 m2
The max. permitted floor space ratio:	0.5	
PROPOSED F.S.R.:	0.489	
Max. allowable GFA:	86,757.11 sq.ft.	8060.00 m2
Gross Floor Area:		
Building A		
Ground Floor (Warehouse/Office)	6353.06 sq.ft.	590.22 m2
Second Floor (Residential)	5849.97 sq.ft.	543.48 m2
Third Floor (Residential)	5849.97 sq.ft.	543.48 m2
Fourth Floor (Residential)	5849.97 sq.ft.	543.48 m2
23,902.97 sq.ft.		2,220.66 m2
Building B		
U/G Parkade	440.68 sq.ft.	40.94 m2
Ground (Commercial/Industrial)	13176.29 sq.ft.	1224.12 m2
Second Floor (Residential)	11729.45 sq.ft.	1089.70 m2
Third Floor (Residential)	11729.45 sq.ft.	1089.70 m2
37,075.87 sq.ft.		3,444.46 m2
Building C		
Ground Floor (Warehouse/Office)	6353.06 sq.ft.	590.22 m2
Second Floor (Residential)	5849.97 sq.ft.	543.48 m2
Third Floor (Residential)	5849.97 sq.ft.	543.48 m2
Fourth Floor (Residential)	5849.97 sq.ft.	543.48 m2
23,902.97 sq.ft.		2,220.66 m2
Total G.F.A. available GFA	84,881.81 sq.ft.	7,885.78 m2
	1,875.30 sq.ft.	174.22 m2
Height Permitted 12.0m	Building A: 11.93m ht.	
<i>see Roof Plans for calc.</i>	Building B: 11.52 m ht.	
	Building C: 11.93 m ht.	
Flood Control Level (FCL) 602.3m (as per LaCas Consultants Inc. report, October 2008)		
Design Under Part 3 2018 BC Building Code		updated 24/02/01

Residential Units: Gross Floor Area

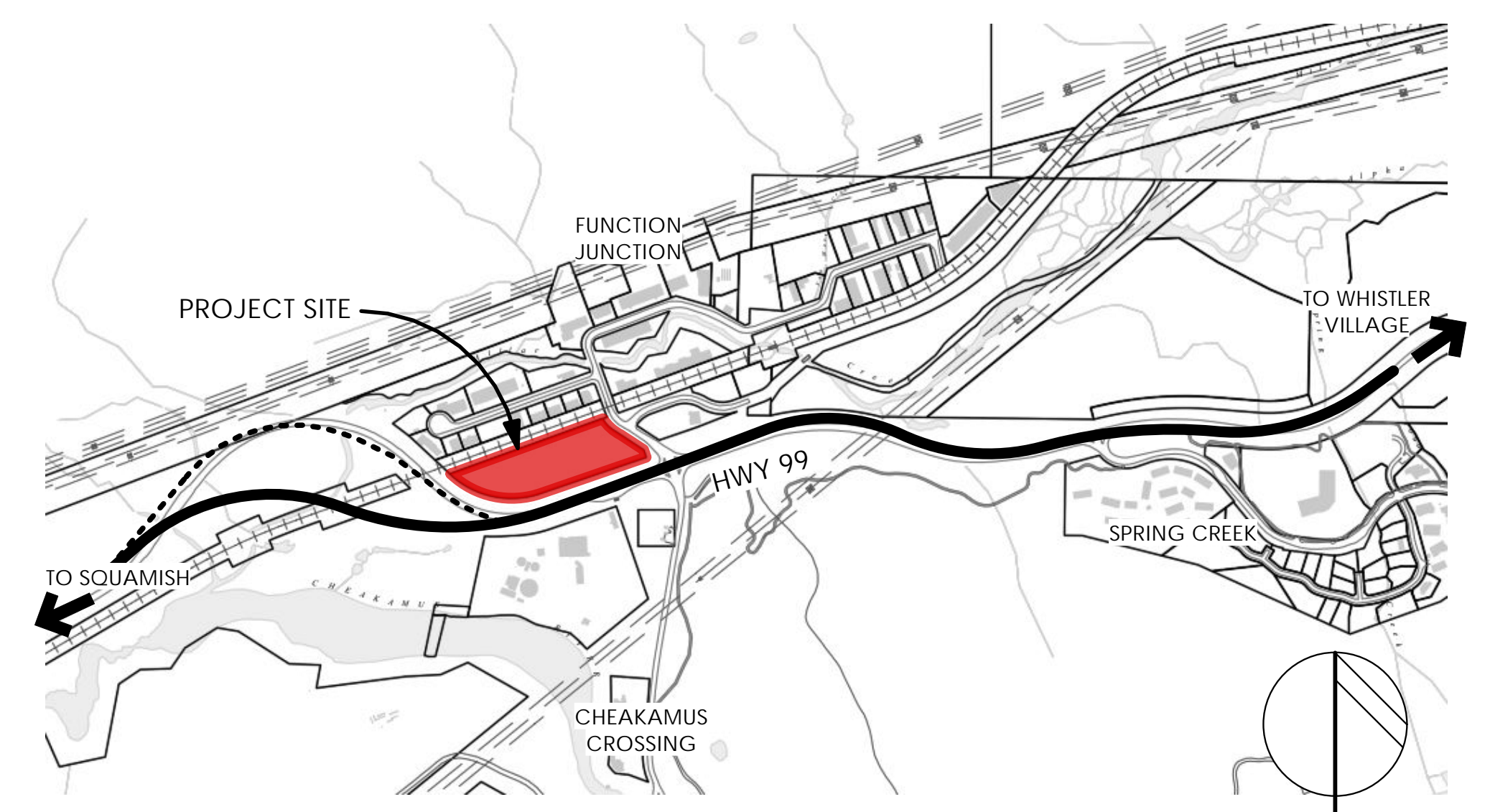
BUILDING	UNIT	UNIT GFA	NO. OF UNITS	TOTAL GFA	TOTAL UNITS
BUILDING A	UNIT A (2 BR)	706.0 sf	12	8472.0 sf	12
	UNIT B (3 BR)	951.0 sf	4	3804.0 sf	4
	UNIT C (1 BR)	477.0 sf	4	1908.0 sf	4
	20 units			14184.0 sf	1317.7m2
BUILDING B	UNIT C (1 BR)	477.0 sf	16	7632.0 sf	16
	UNIT A (2 BR)	706.0 sf	16	11296.0 sf	16
	32 units			18928.0 sf	1758.5m2
	20 units			14184.0 sf	1317.7m2
BUILDING C	UNIT A (2 BR)	706.0 sf	12	8472.0 sf	12
	UNIT B (3 BR)	951.0 sf	4	3804.0 sf	4
	UNIT C (1 BR)	477.0 sf	4	1908.0 sf	4
	20 units			14184.0 sf	1317.7m2
TOTAL GFA			47296.0 sf	4393.9m2	

updated 24/02/01

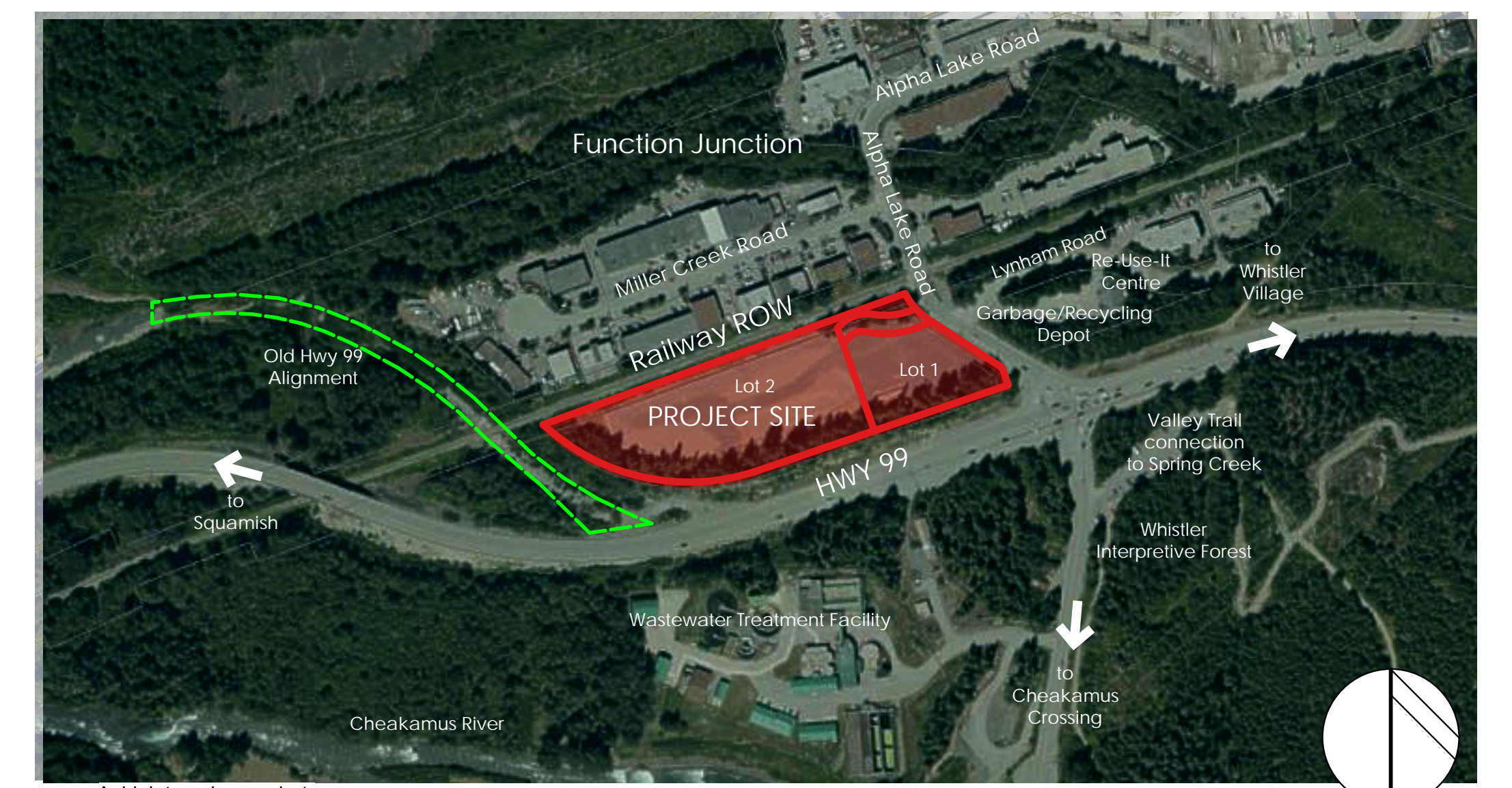
Drawing List

A-0.0 [R]	COVER SHEET, Site Location & Context
A-1.0 [R]	Site Plan (Combined Lots 1 & 2)
A-1.1 [R]	Snow Storage Plan
TP-1 [R]	Tree Preservation Plan
F-1.0 [R]	Wildfire- Fire Smart Site Plan
Lot 1, Service Station	
L-1.1	LOT 1 Site Grading Plan
L-1.2	LOT 1 Landscape Planting Plan
A-2.1	Lower Floor Plan
A-2.1b	Lower Floor Plan - AREAS
A-2.2	Roof Plan
A-3.1	Elevations
A-3.2	Elevations
A-3.3	Elevations - Canopy
A-4.1	Sections
A-4.2	Sections
Lot 2, Commercial Development	
L-2.1 [R]	LOT 2 Site Grading Plan
L-2.2 [R]	LOT 2 Landscape Planting Plan
L-2.3 [R]	LOT 2 Parking Plan
L-2.4 [R]	LOT 2 Site Lighting Plan
Plans	
A-2.0 A [R]	Building A - Municipal GFA
A-2.1 A [R]	Building A - Ground Floor Plan
A-2.2 A [R]	Building A - Second Floor Plan
A-2.3 A [R]	Building A - Third Floor Plan
A-2.4 A [R]	Building A - Fourth Floor Plan
A-2.5 A [R]	Building A - Roof Plan
A-2.6 A [R]	Building A - Roof Height Calculations
A-2.0 B [R]	Building B - Municipal GFA
A-2.0 B [R]	Building B - Foundation/Underground Parking
A-2.1 B [R]	Building B - Ground Floor Plan
A-2.2 B [R]	Building B - Second Floor Plan
A-2.3 B [R]	Building B - Third Floor Plan
A-2.4 B [R]	Building B - Roof Plan
A-2.5 B [R]	Building B - Roof Height Calculations
A-2.0 C [R]	Building C - Municipal GFA
A-2.1 C [R]	Building C - Ground Floor Plan
A-2.2 C [R]	Building C - Second Floor Plan
A-2.3 C [R]	Building C - Third Floor Plan
A-2.4 C [R]	Building C - Fourth Floor Plan
A-2.5 C [R]	Building C - Roof Plan
A-2.6 C [R]	Building C - Roof Height Calculations
Elevations	
A-3.1 A [R]	Building A - Elevations
A-3.1 B [R]	Building B - Elevations
A-3.2 B [R]	Building B - Elevations
A-3.1 C [R]	Building C - Elevations
Sections	
A-4.1 A [R]	Building A - Sections
A-4.2 B [R]	Building B - Sections
A-4.3 C [R]	Building C - Sections
Materials	
A-5.1 A [R]	Building A - Material Board
A-5.1 B [R]	Building B - Material Board
A-5.1 C [R]	Building C - Material Board
Unit Plans	
A-8.1 [R]	Unit Plans
RENDERINGS	
A-9.1 [R]	Renderings
A-9.2 [R]	Renderings

Appendix A



key plan n.t.s



context plan n.t.s

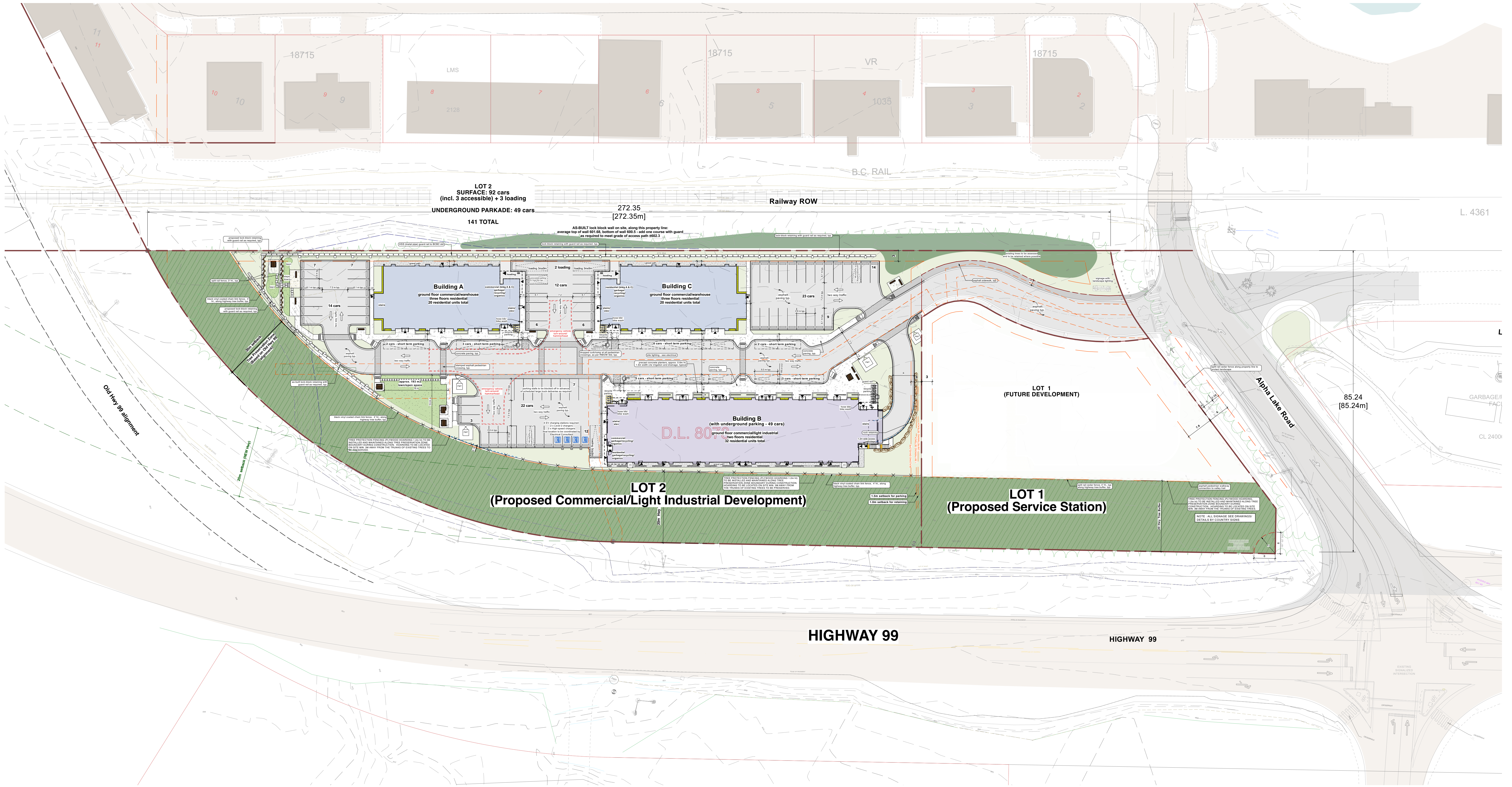
Lil'wat Nation: Tseqwtsúqum', Function Junction, Lot 2

1000 Alpha Lake Road, Whistler BC

Consolidated DP Submission

March 20, 2024





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Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

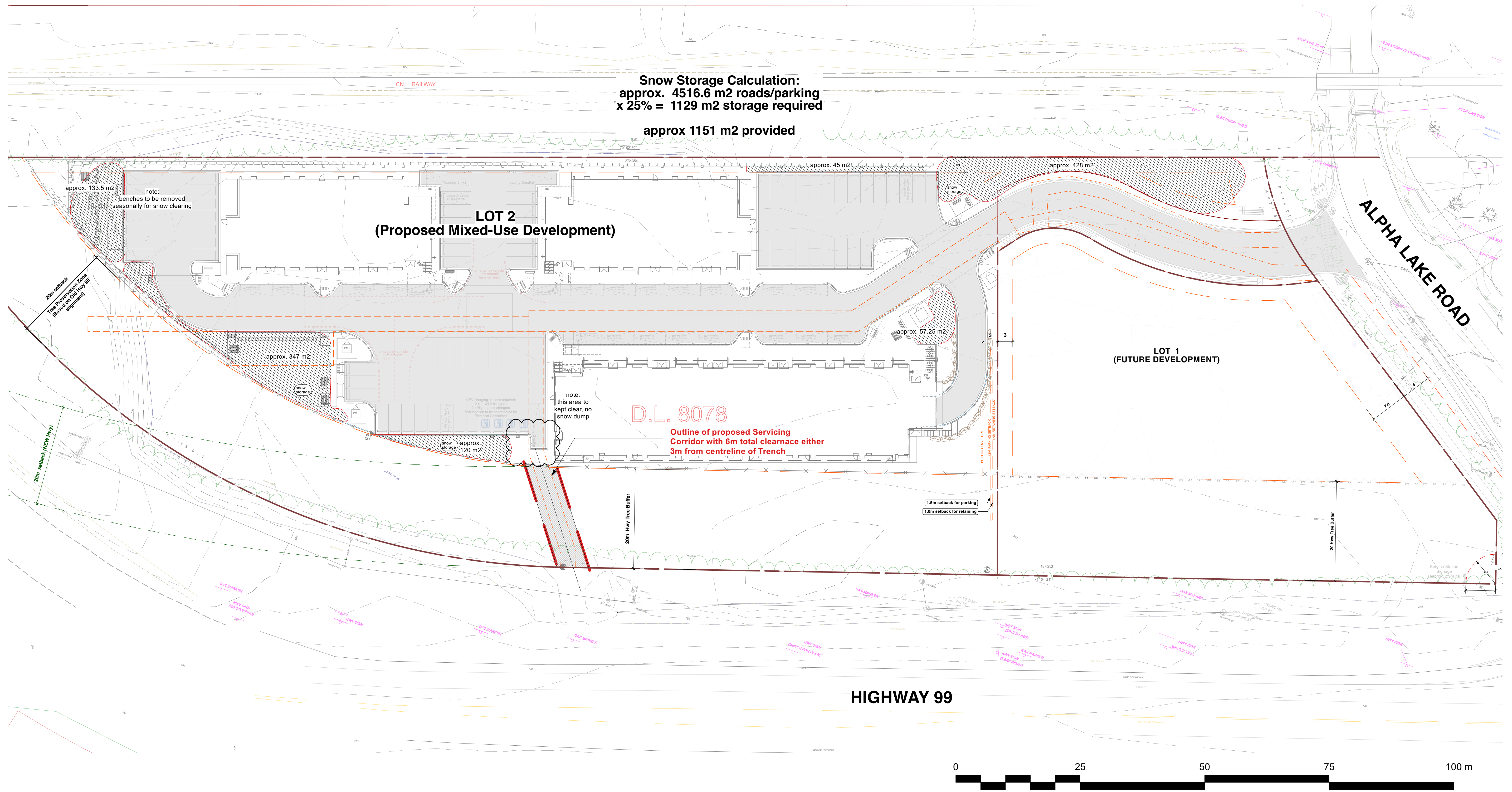
Sheet Title:
LOT 2 ILLUSTRATIVE SITE PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

Sealed By:

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Drawn By:	Scale:
BM/JL	1:500 METRIC
Project No:	Sheet No:
1210	A-1.0 [R]

LOT 2 ILLUSTRATIVE SITE PLAN



Snow Storage Calculation:
 approx. 4516.6 m² roads/parking
 x 25% = 1129 m² storage required
 approx 1151 m² provided

**LOT 2
 (Proposed Mixed-Use Development)**

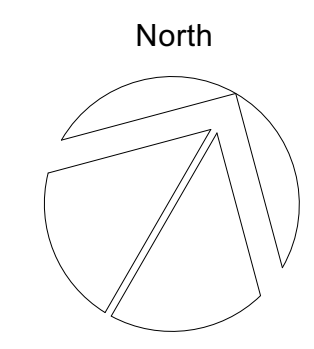
**LOT 1
 (FUTURE DEVELOPMENT)**

D.L. 8078
 Outline of proposed Servicing
 Corridor with 6m total clearance either
 3m from centreline of Trench

HIGHWAY 99

ALPHA LAKE ROAD

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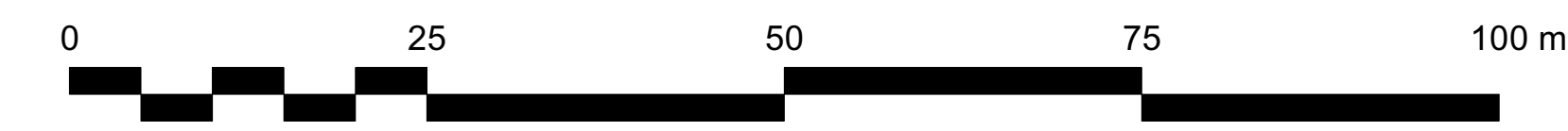
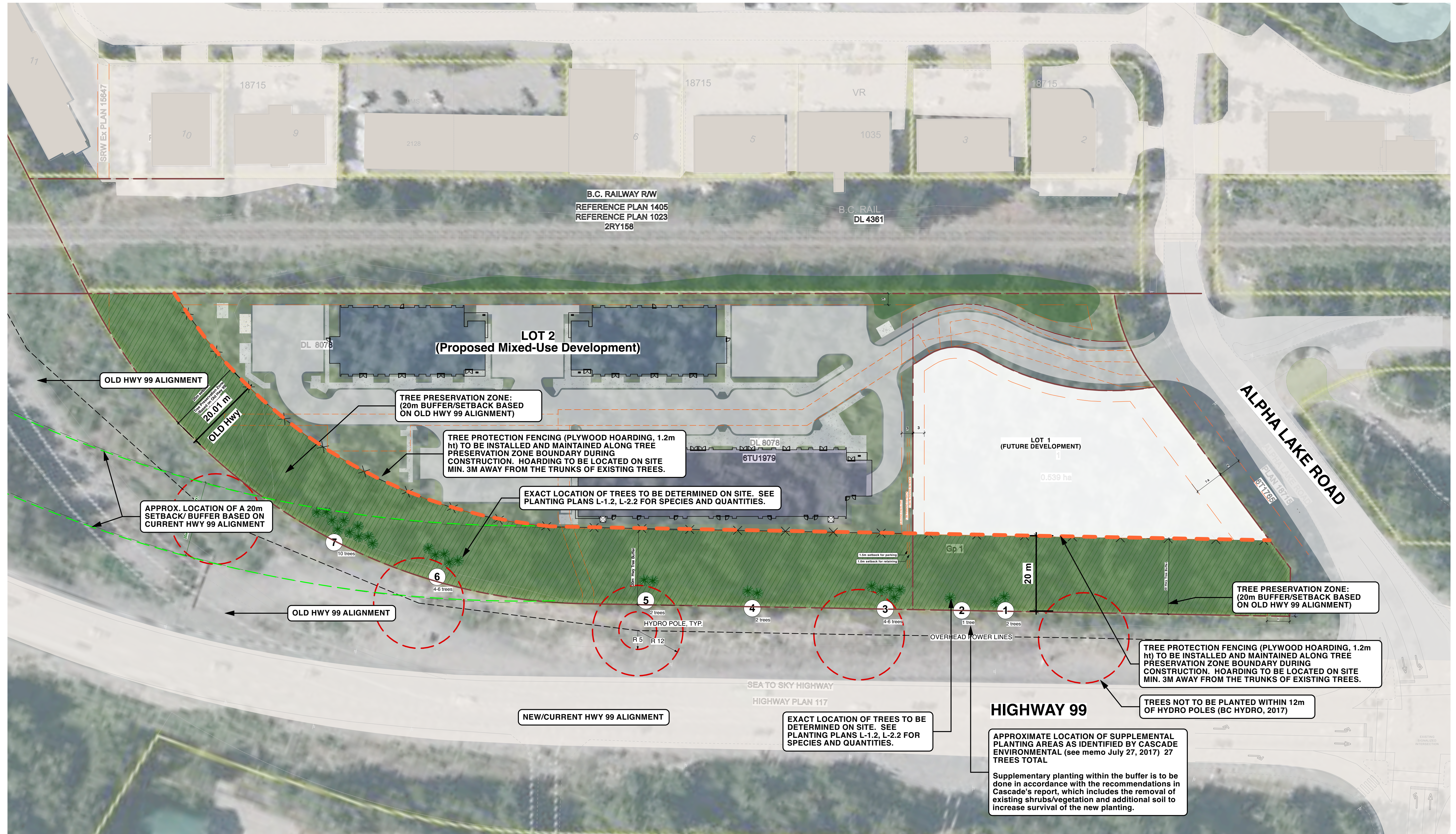
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2: SNOW STORAGE
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

Sealed By:

MURDOCH + COMPANY
 Architecture + Planning Ltd.
 #106-4319 Main Street
 P.O. Box 1394
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 e-mail office@murdochandco.ca

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BM/JL	1:400 METRIC
Project No:	Sheet No:
1210	A-1.1 [R]
LOT 2: SNOW STORAGE	



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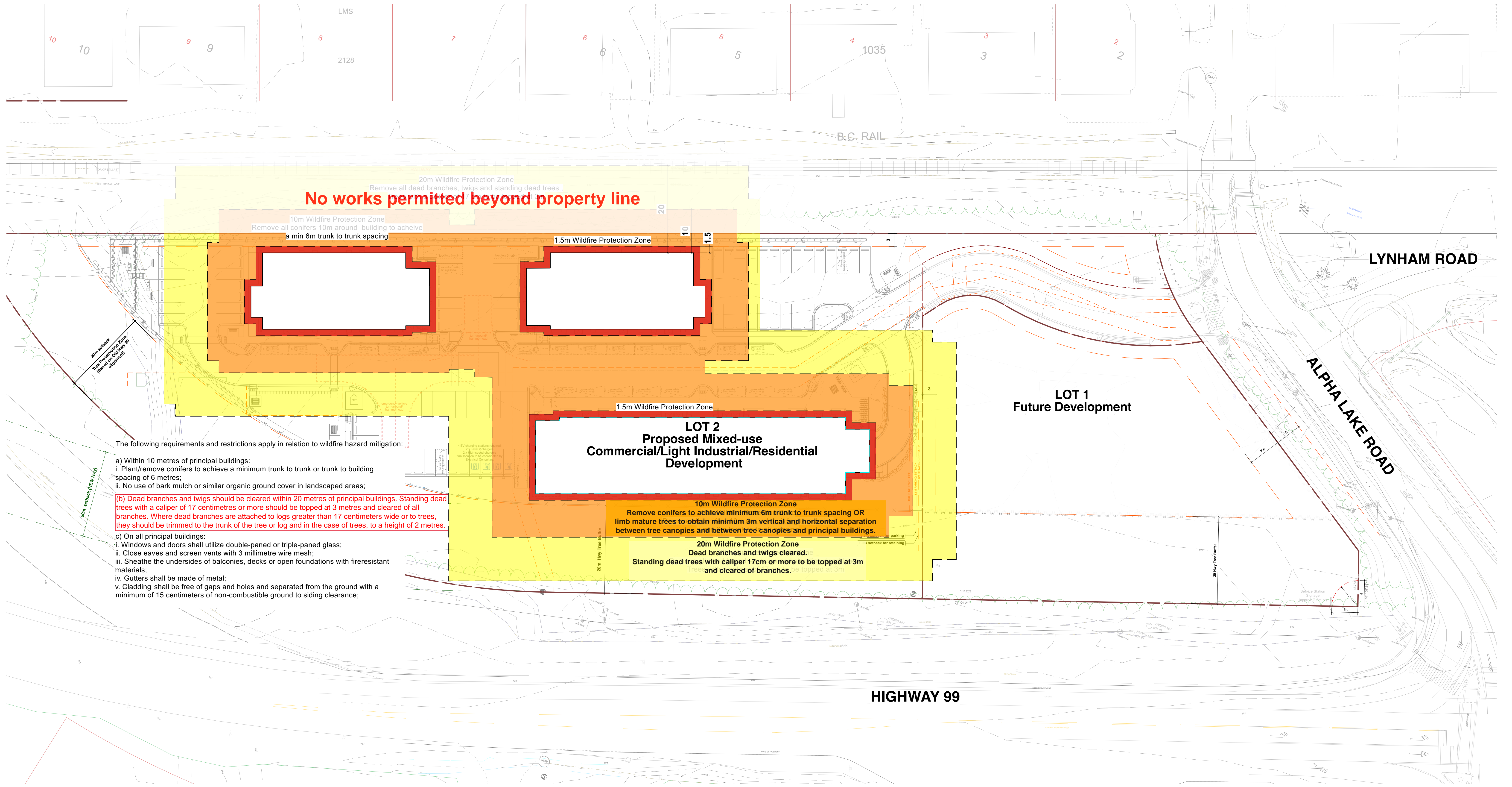
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
TREE PRESERVATION/HIGHWAY BUFFER
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, , Whistler, BC

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BM/JL	1:500 METRIC
Project No:	Sheet No:
1210	TP-1 [R]



No works permitted beyond property line

**LOT 2
Proposed Mixed-use
Commercial/Light Industrial/Residential
Development**

**LOT 1
Future Development**

LYNHAM ROAD

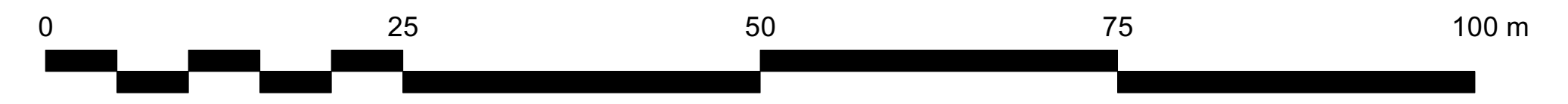
ALPHA LAKE ROAD

HIGHWAY 99

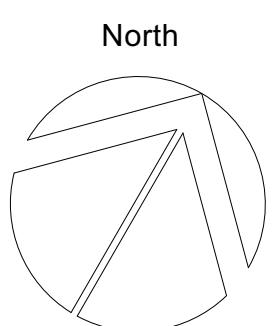
- The following requirements and restrictions apply in relation to wildfire hazard mitigation:
- a) Within 10 metres of principal buildings:
 - i. Plant/remove conifers to achieve a minimum trunk to trunk or trunk to building spacing of 6 metres;
 - ii. No use of bark mulch or similar organic ground cover in landscaped areas;
 - (b) Dead branches and twigs should be cleared within 20 metres of principal buildings. Standing dead trees with a caliper of 17 centimetres or more should be topped at 3 metres and cleared of all branches. Where dead branches are attached to logs greater than 17 centimeters wide or to trees, they should be trimmed to the trunk of the tree or log and in the case of trees, to a height of 2 metres.
 - c) On all principal buildings:
 - i. Windows and doors shall utilize double-paned or triple-paned glass;
 - ii. Close eaves and screen vents with 3 millimetre wire mesh;
 - iii. Sheathe the undersides of balconies, decks or open foundations with fire-resistant materials;
 - iv. Gutters shall be made of metal;
 - v. Cladding shall be free of gaps and holes and separated from the ground with a minimum of 15 centimeters of non-combustible ground to siding clearance;

10m Wildfire Protection Zone
Remove conifers to achieve minimum 6m trunk to trunk spacing OR limb mature trees to obtain minimum 3m vertical and horizontal separation between tree canopies and between tree canopies and principal buildings.

20m Wildfire Protection Zone
Dead branches and twigs cleared.
Standing dead trees with caliper 17cm or more to be topped at 3m and cleared of branches.



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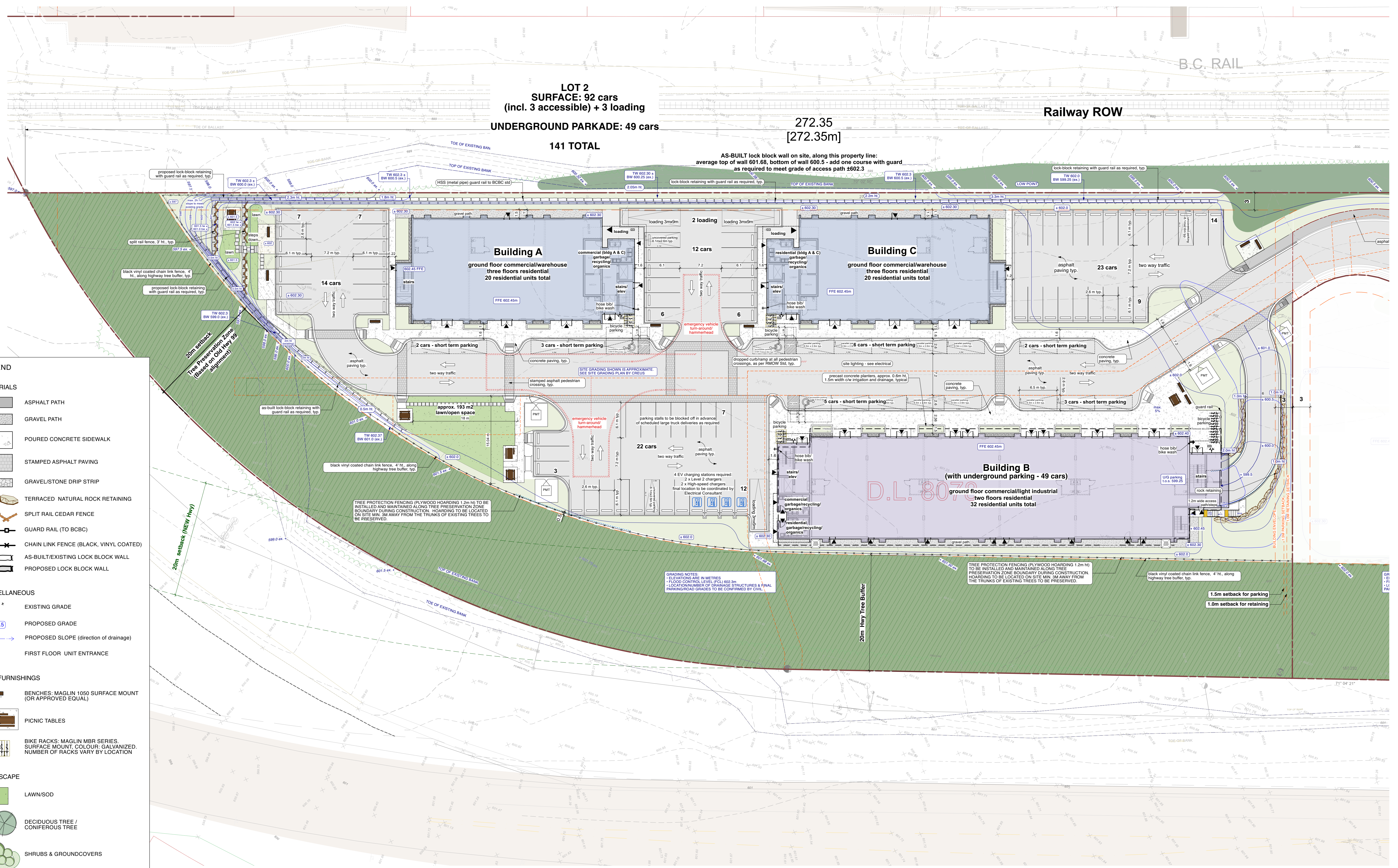
Issued For:	Date:
DP APPLICATION	FEB. 01, 2024
CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2 SITE PLAN - FIRESMART
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler, BC

Sealed By:

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Drawn By: Scale:
BM/JL 1:400 METRIC
Project No: Sheet No:
1210 **F-1.0 [R]**
LOT 2 SITE PLAN - FIRESMART



LEGEND

MATERIALS

- ASPHALT PATH
- GRAVEL PATH
- POURED CONCRETE SIDEWALK
- STAMPED ASPHALT PAVING
- GRAVEL/STONE DRIP STRIP
- TERRACED NATURAL ROCK RETAINING
- SPLIT RAIL CEDAR FENCE
- GUARD RAIL (TO BCBC)
- CHAIN LINK FENCE (BLACK, VINYL COATED)
- AS-BUILT/EXISTING LOCK BLOCK WALL
- PROPOSED LOCK BLOCK WALL

MISCELLANEOUS

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED SLOPE (direction of drainage)
- FIRST FLOOR UNIT ENTRANCE

SITE FURNISHINGS

- BENCHES: MAGLIN 1050 SURFACE MOUNT (OR APPROVED EQUAL)
- PICNIC TABLES
- BIKE RACKS: MAGLIN MBR SERIES SURFACE MOUNT, COLOUR: GALVANIZED. NUMBER OF RACKS VARY BY LOCATION

LANDSCAPE

- LAWN/SOD
- DECIDUOUS TREE / CONIFEROUS TREE
- SHRUBS & GROUNDCOVERS



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North

Issued For: **DP APPLICATION** Date: **FEB. 01, 2024**
BP APPLICATION DP SUBMITTAL **MAR. 07, 2024**

Sheet Title:
LOT 2: SITE GRADING PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

Sealed By:

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Drawn By: **BM/JL** Scale: **1:300 METRIC**
 Project No: **1210** Sheet No:
L-2.1 [R]

LEGEND

MATERIALS

- ASPHALT PATH
- GRAVEL PATH
- POURED CONCRETE SIDEWALK
- STAMPED ASPHALT PAVING
- GRAVEL/STONE DRIP STRIP
- TERRACED NATURAL ROCK RETAINING
- SPLIT RAIL CEDAR FENCE
- GUARD RAIL (TO BCBC)
- CHAIN LINK FENCE (BLACK, VINYL COATED)
- AS-BUILT/EXISTING LOCK BLOCK WALL
- PROPOSED LOCK BLOCK WALL

MISCELLANEOUS

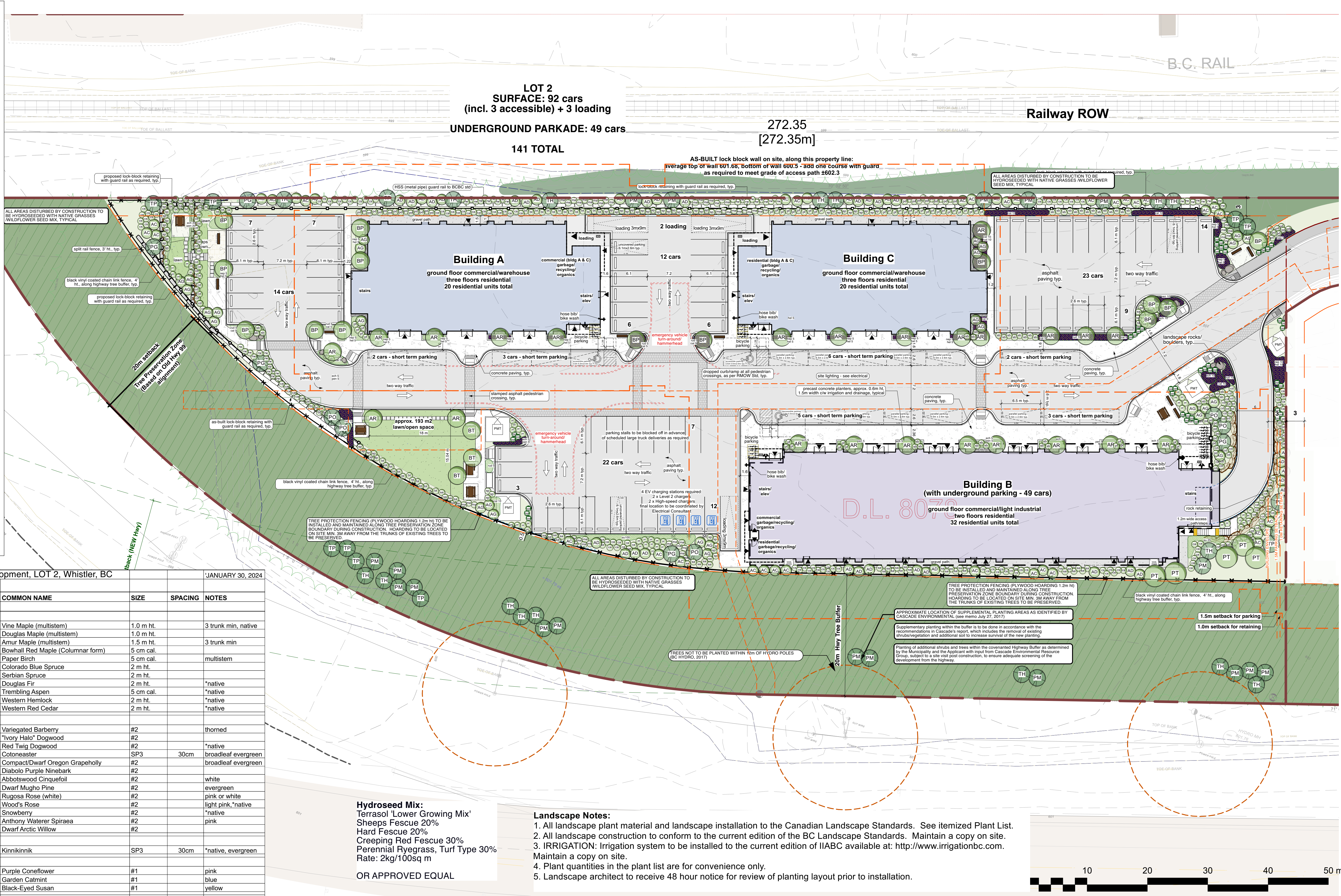
- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED SLOPE (direction of drainage)
- FIRST FLOOR UNIT ENTRANCE

SITE FURNISHINGS

- BENCHES: MAGLIN 1050 SURFACE MOUNT (OR APPROVED EQUAL)
- PICNIC TABLES
- BIKE RACKS: MAGLIN MBR SERIES, SURFACE MOUNT, COLOUR: GALVANIZED. NUMBER OF RACKS VARY BY LOCATION

LANDSCAPE

- LAWN/SOD
- DECIDUOUS TREE / CONIFEROUS TREE
- SHRUBS & GROUNDCOVERS



PROJECT: Function Junction Commercial Development, LOT 2, Whistler, BC

JANUARY 30, 2024

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
TREES						
AC	41	Acer circinatum	Vine Maple (multistem)	1.0 m ht.		3 trunk min, native
AD	36	Acer glabrum	Douglas Maple (multistem)	1.0 m ht.		
AG	28	Acer ginnala	Amur Maple (multistem)	1.5 m ht.		3 trunk min
AR	24	Acer rubrum "Bowhall"	Bowhall Red Maple (Columnar form)	5 cm cal.		
BP	14	Betula papyrifera	Paper Birch	5 cm cal.		multistem
PG	5	Picea pungens "Glauca"	Colorado Blue Spruce	2 m ht.		
PO	5	Picea omorika	Serbian Spruce	2 m ht.		
PM	19	Pseudotsuga menziesii	Douglas Fir	2 m ht.		*native
PT	5	Populus tremuloides	Trembling Aspen	5 cm cal.		*native
TH	17	Tsuga heterophylla	Western Hemlock	2 m ht.		*native
TP	10	Thuja plicata	Western Red Cedar	2 m ht.		*native
SHRUBS						
bt	48	Berberis thunbergii "Rose Glow"	Variogated Barberry	#2		thorned
ca	57	Cornus alba "Ivory Halo"	"Ivory Halo" Dogwood	#2		
cs	66	Cornus sericea	Red Twig Dogwood	#2		*native
cd	61	Cotoneaster dammeri "Coral Beauty"	Cotoneaster	SP3	30cm	broadleaf evergreen
ma	53	Mahonia aquilifolia "Compacta"	Compact/Dwarf Oregon Grapeholly	#2		broadleaf evergreen
pd	52	Physocarpus opulifolius "Diabolo"	Diabolo Purple Ninebark	#2		
pf	46	Potentilla fruticosa "Abbotswood"	Abbotswood Cinquefoil	#2		white
pp	48	Pinus mugo Pumilio	Dwarf Mugho Pine	#2		evergreen
rr	50	Rosa rugosa alba	Rugosa Rose (white)	#2		pink or white
rw	45	Rosa woodsii	Wood's Rose	#2		light pink, *native
sa	48	Symphoricarpos albus	Snowberry	#2		*native
sb	49	Spiraea bumalda "Anthopny Waterer"	Anthony Waterer Spiraea	#2		pink
sp	55	Salix purpurea "Nana"	Dwarf Arctic Willow	#2		
GROUNDCOVERS						
au	75	Arctostaphylos uva-ursi	Kinnikinnik	SP3	30cm	*native, evergreen
PERENNIALS						
ech	80	Echinacea purpurea "Magnus"	Purple Coneflower	#1		pink
nep	56	Nepeta x faassenii	Garden Catmint	#1		blue
rud	70	Rudbeckia fulgida "Goldsturm"	Black-Eyed Susan	#1		yellow
GRASSES						
cal	65	Calamagrostis x acutifolia "Karl Foerster"	Feather Reed Grass	#1		
hel	50	Helictotrichon sempervirens	Evergreen Oat Grass	#1		
pen	55	Pennisetum alopecuroides "Cassian"	Dwarf Fountain Grass	#1		



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North

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 Date: FEB. 01, 2024

CONSOLIDATED DP SUBMISSION
 Date: MAR. 20, 2024

Sheet Title:
LOT 2: LANDSCAPE PLAN
 Project:
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

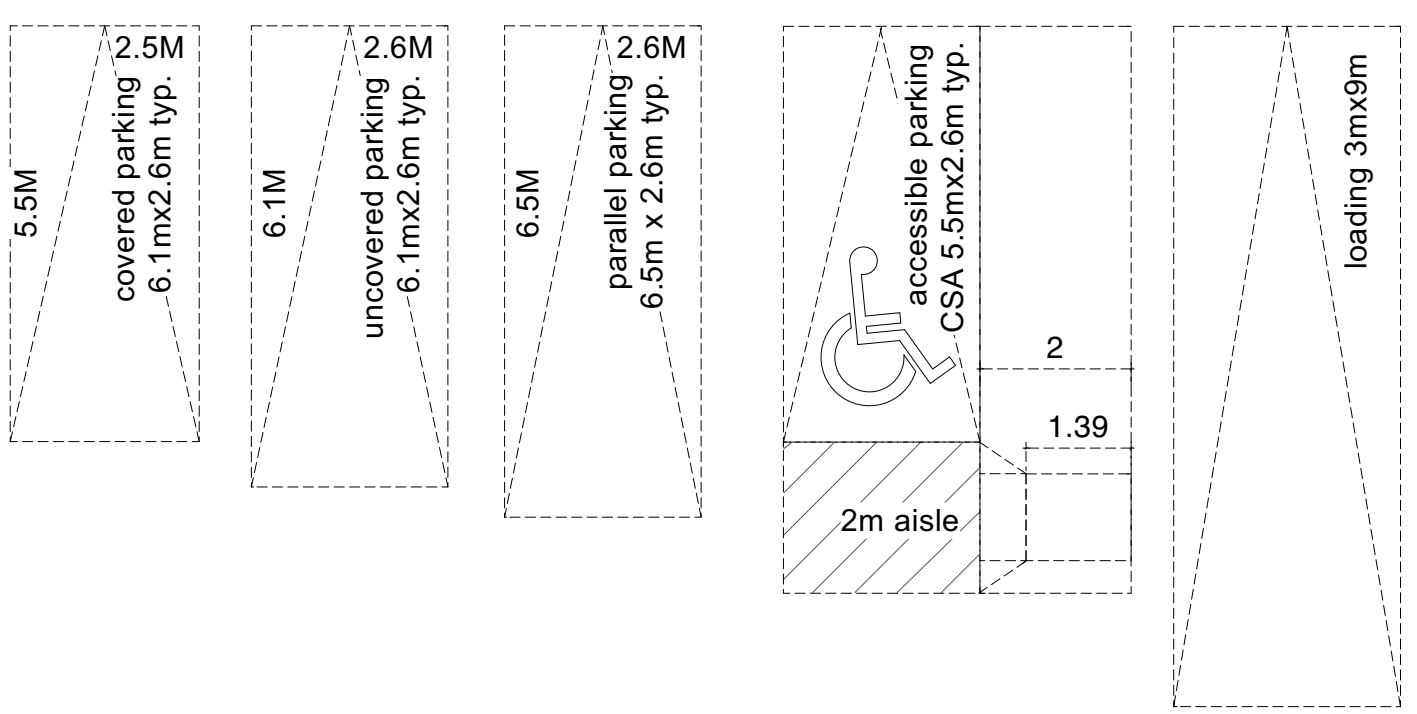
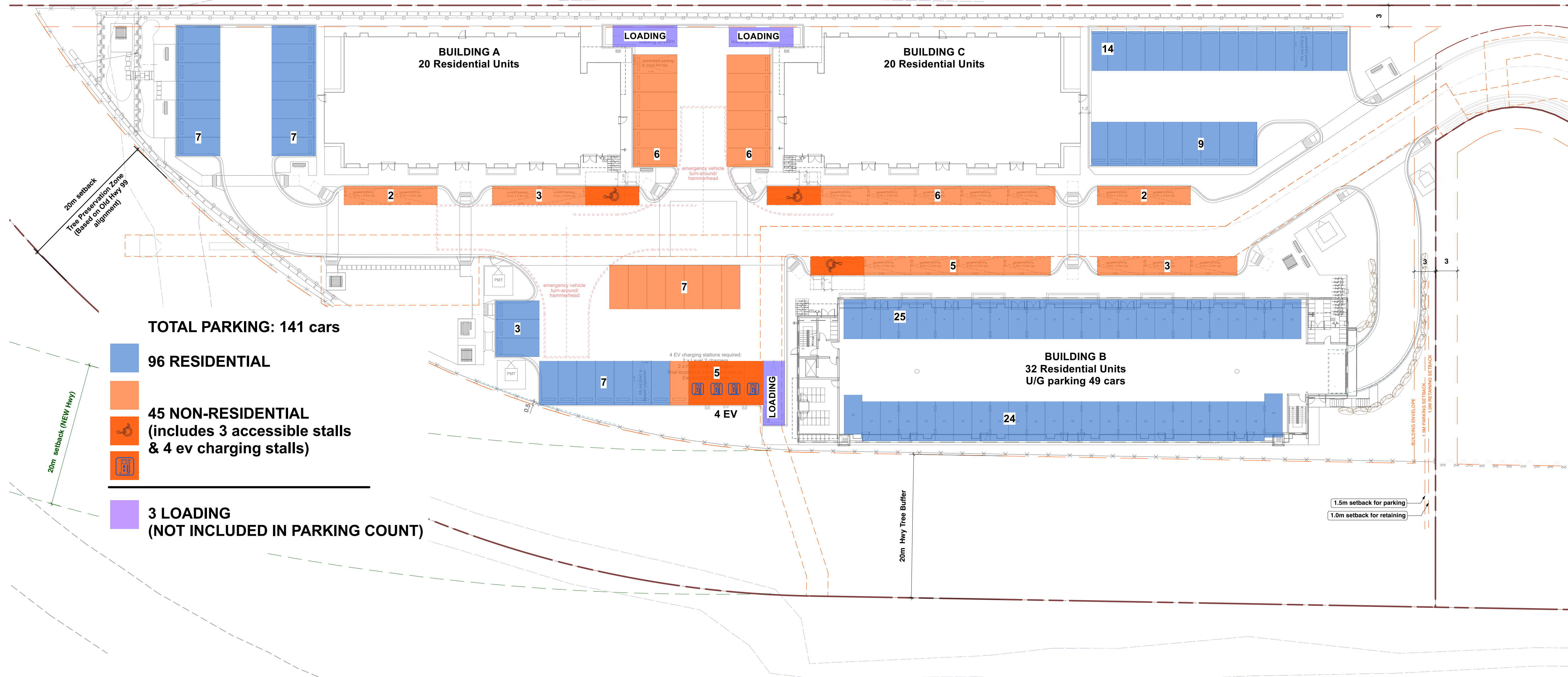
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 Scale: 1:300 METRIC

Project No: 1210
 Sheet No: **L-2.2 [R]**
 LOT 2: LANDSCAPE PLAN



24/03/15 Parking Allocation

- Residential Parking** – It is proposed that 80 of the 96 required parking spaces will be designated for residential use only. The renters will need to display a parking permit, which will allow them to park in the reserved residential parking areas. The parking will not be assigned to each unit. The residential parking areas will be signed “residential permit parking only”
 - Non-Residential Parking** – The businesses owners, employees and customers may park anywhere except in the reserved residential parking areas.
- The non-residential parking areas will not require permits, however if the residents improperly use the non-residential parking areas (compromising the businesses’ parking opportunities), consideration may be given by the owner to physically designate certain parking for non-residential use (for owners and employees and customers) through signage and parking permit. Like the residential parking, the non-residential spaces should not be directly assigned to individual businesses. The e-charging will have signage for duration of use, while the accessible stalls will have the appropriate signage.

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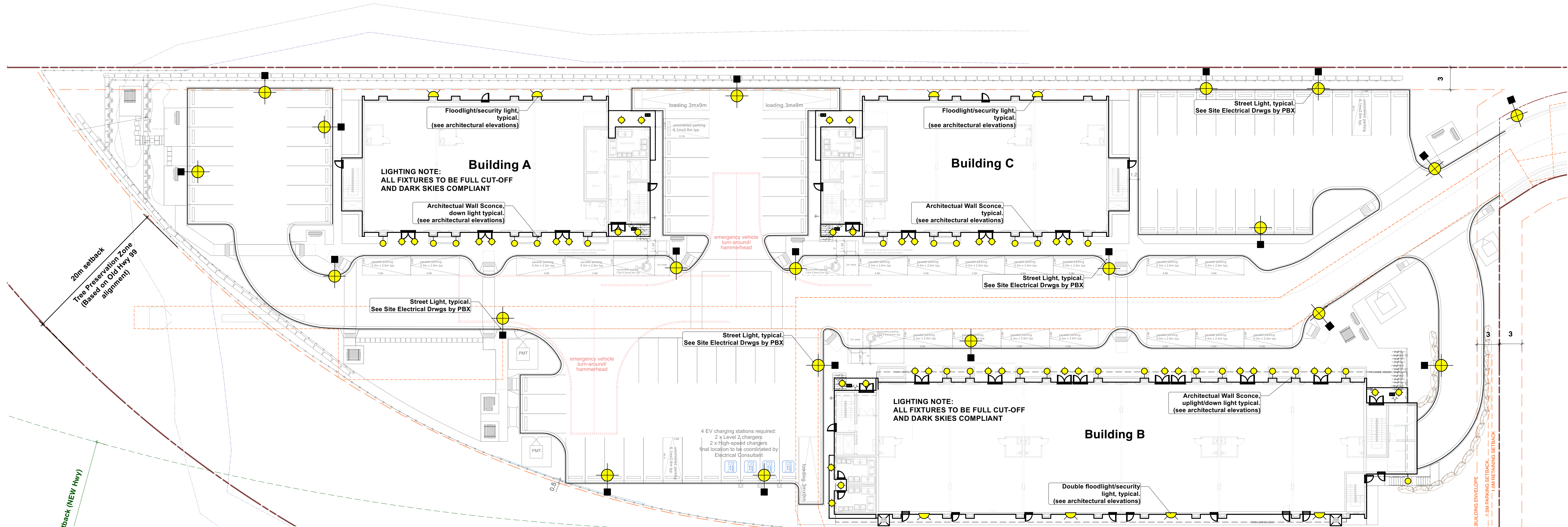
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Sheet Title:
LOT 2: PARKING PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

Sealed By:

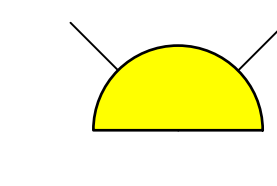
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 e-mail office@murdochandco.ca

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 BM/JL 1:300 METRIC
 Project No: Sheet No:
 1210 **L-2.3 [R]**
 LOT 2: PARKING PLAN




EXTERIOR BUILDING / SITE LIGHTING

- 


POLE MOUNTED STREET LIGHTS
REFER TO SITE LIGHTING SPECIFICATIONS BY PBX ENGINEERING
- 


FLOOD LIGHT/SECURITY LIGHT
ENDURANCE FLOOD PRO
LED FLOOD LIGHT, WAC LIGHTING
- 54 WATTS
- LED
- GRAPHITE
- 120 V
- 


ARCHITECTURAL WALL SCENCE, UPLIGHT/DOWN-LIGHT
RUSSELL LIGHTING 799-006/AG
- 150 W
- 120 V
- 2x PAR E26
- 


SOFFIT LIGHTING - EXTERIOR CEILING LIGHT
PROGRESS OUTDOOR FLUSH MOUNT CYLINDER
- METALLIC GREY
- LED
- 120 V
- 17 WATTS

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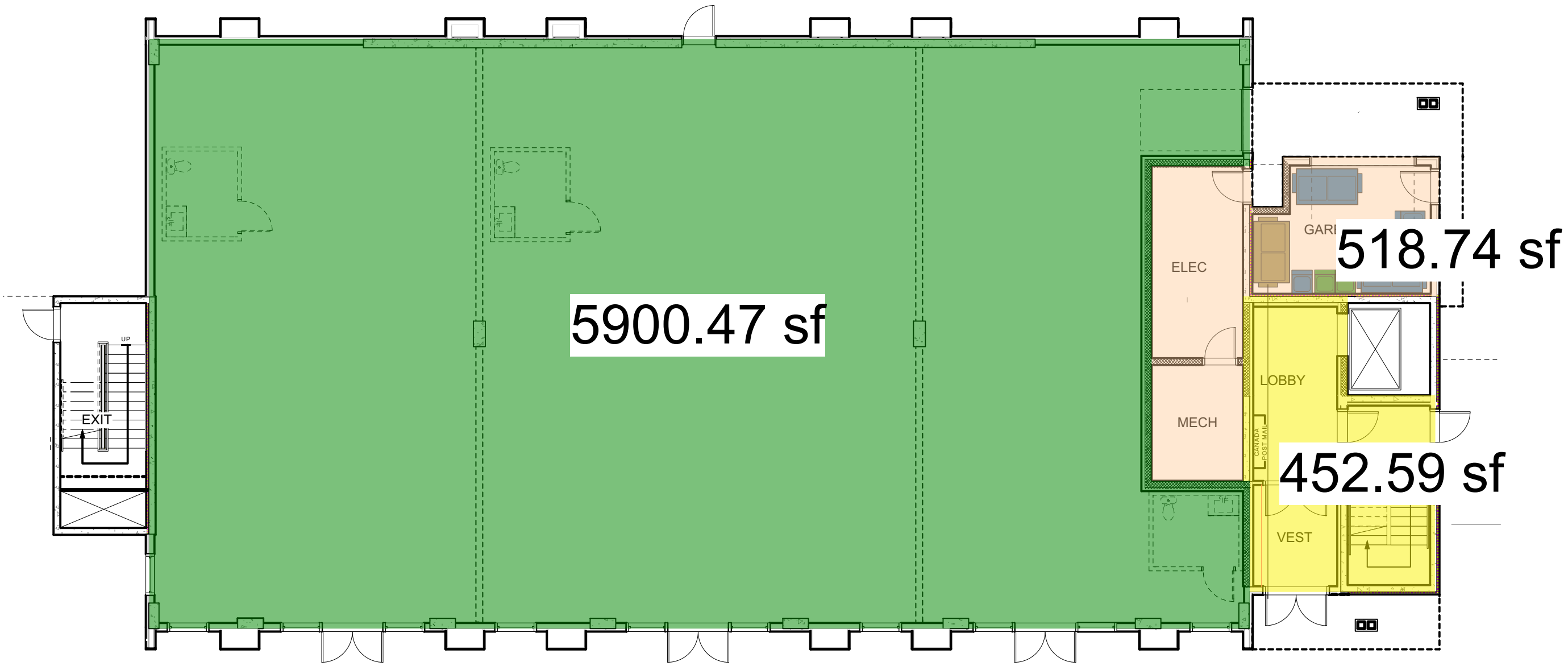
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CONSOLIDATED DP SUBMISSION	MAR. 20, 2024

Sheet Title:
LOT 2: SITE LIGHTING PLAN
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler, BC

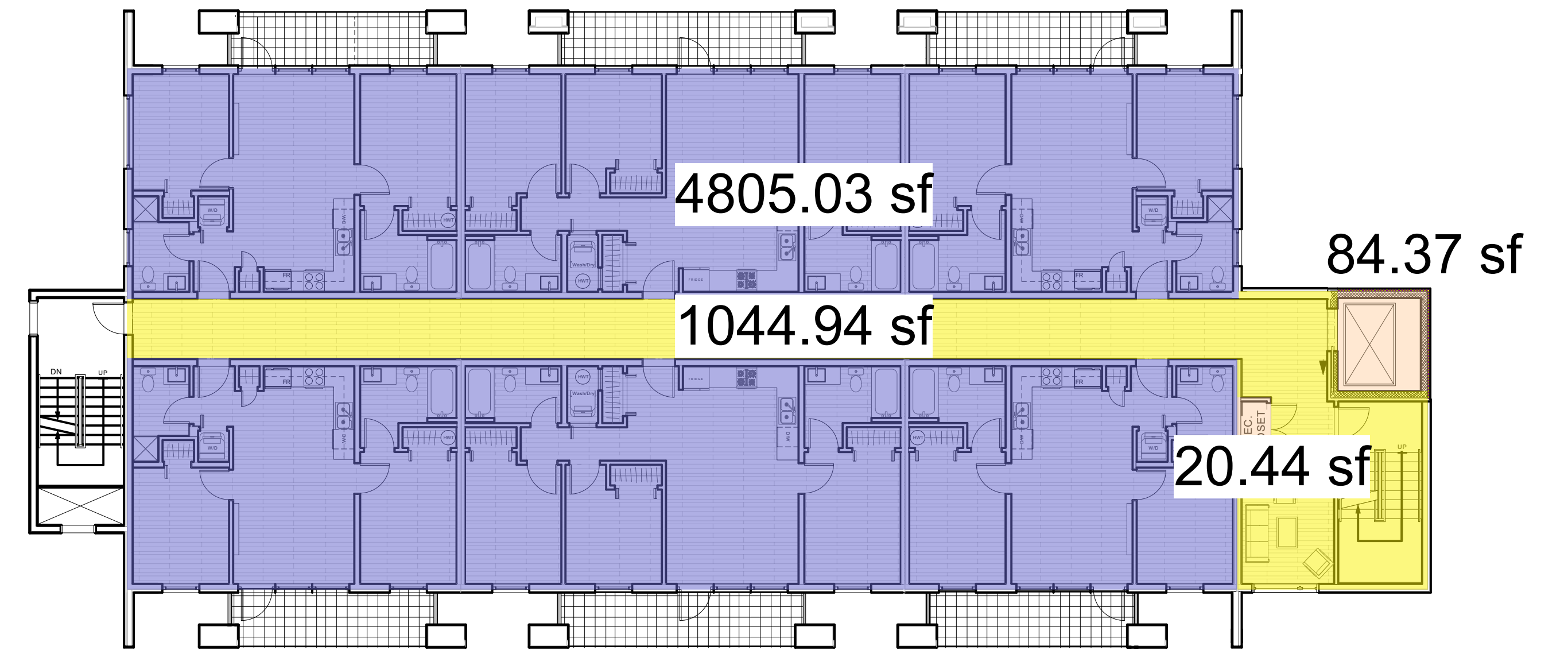
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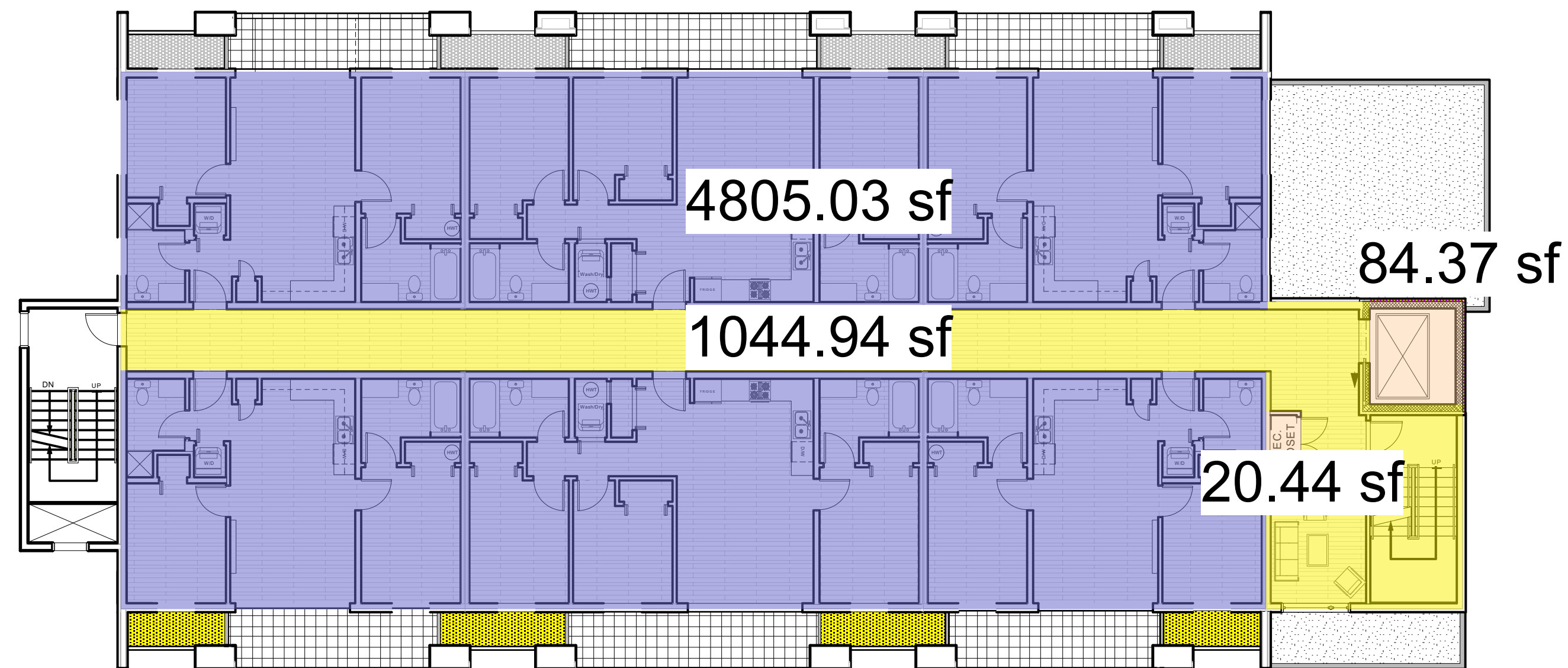
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Project No:	Sheet No:
1210	L-2.4 [R]



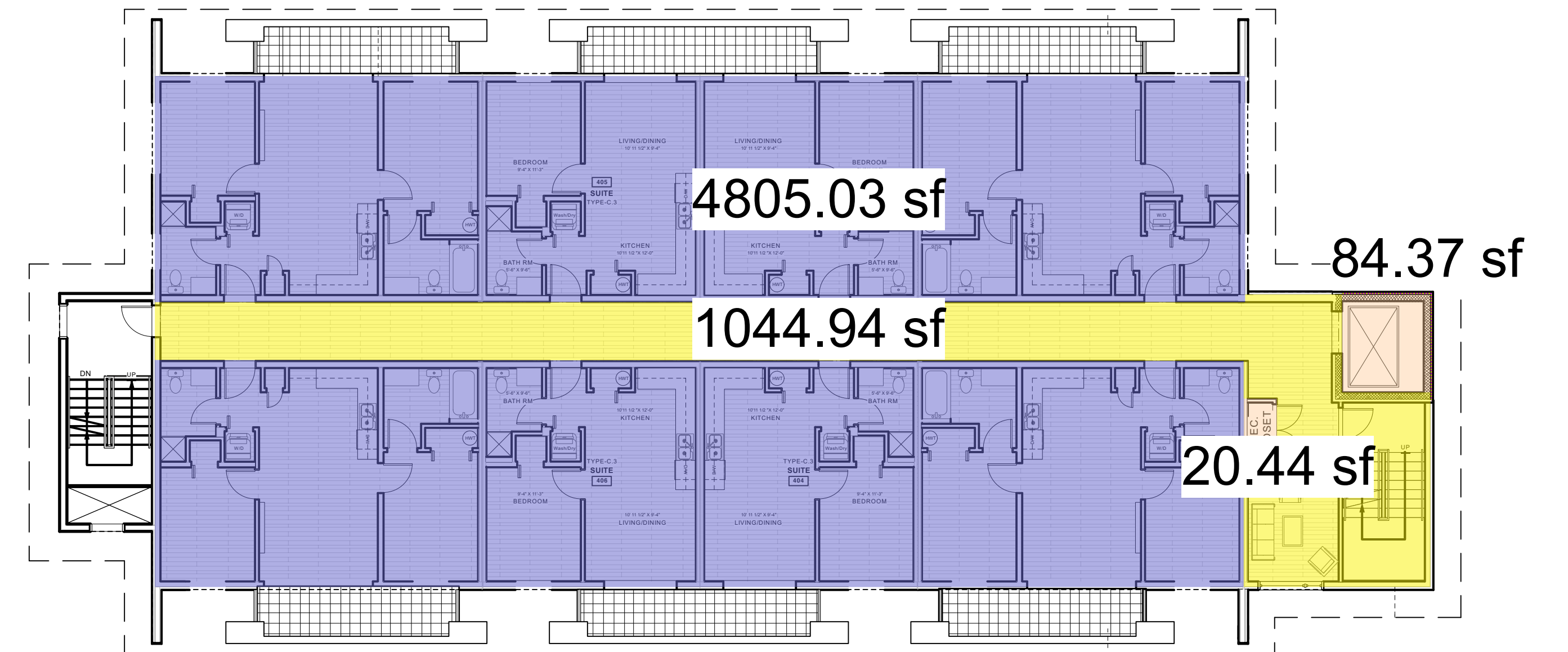
1 GROUND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



3 THIRD FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



2 SECOND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

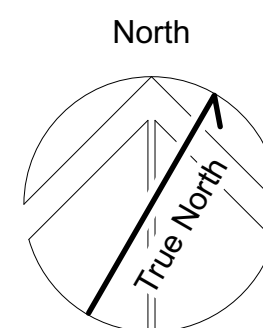


4 FOURTH FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

MUNICIPAL GROSS FLOOR AREA - Tseqwtsúqum, Function Junction

	CIRCULATION (SQ.M.)	COMMERCIAL (SQ.M.)	RESIDENTIAL (SQ.M.)	SERVICE (SQ.M.)	BIKE STORAGE (SQ.M.)
GROUND FLOOR	42.05 SQ.M.	548.13 SQ.M.	0.00 SQ.M.	48.19 SQ.M.	0.00 SQ.M.
SECOND FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
THIRD FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
FOURTH FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
SUB-TOTAL:	333.26 SQ.M.	548.13 SQ.M.	1339.20 SQ.M.	53.88 SQ.M.	0.00 SQ.M.
TOTAL GFA:	2220.58 SQ.M.				
TOTAL AREA EXCLUDED:	53.88 SQ.M.				
TOTAL AREA BUILT:	2274 SQ.M.				

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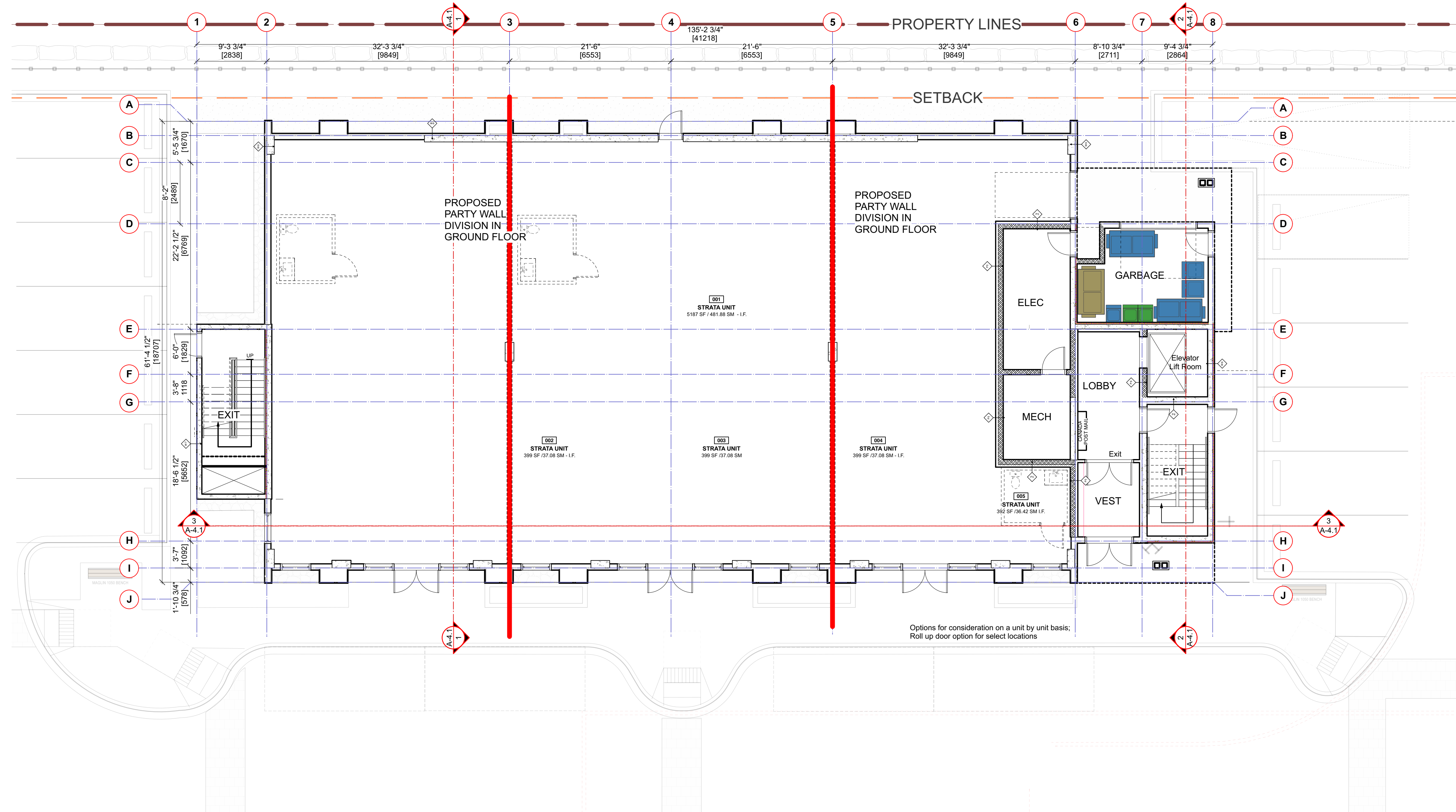
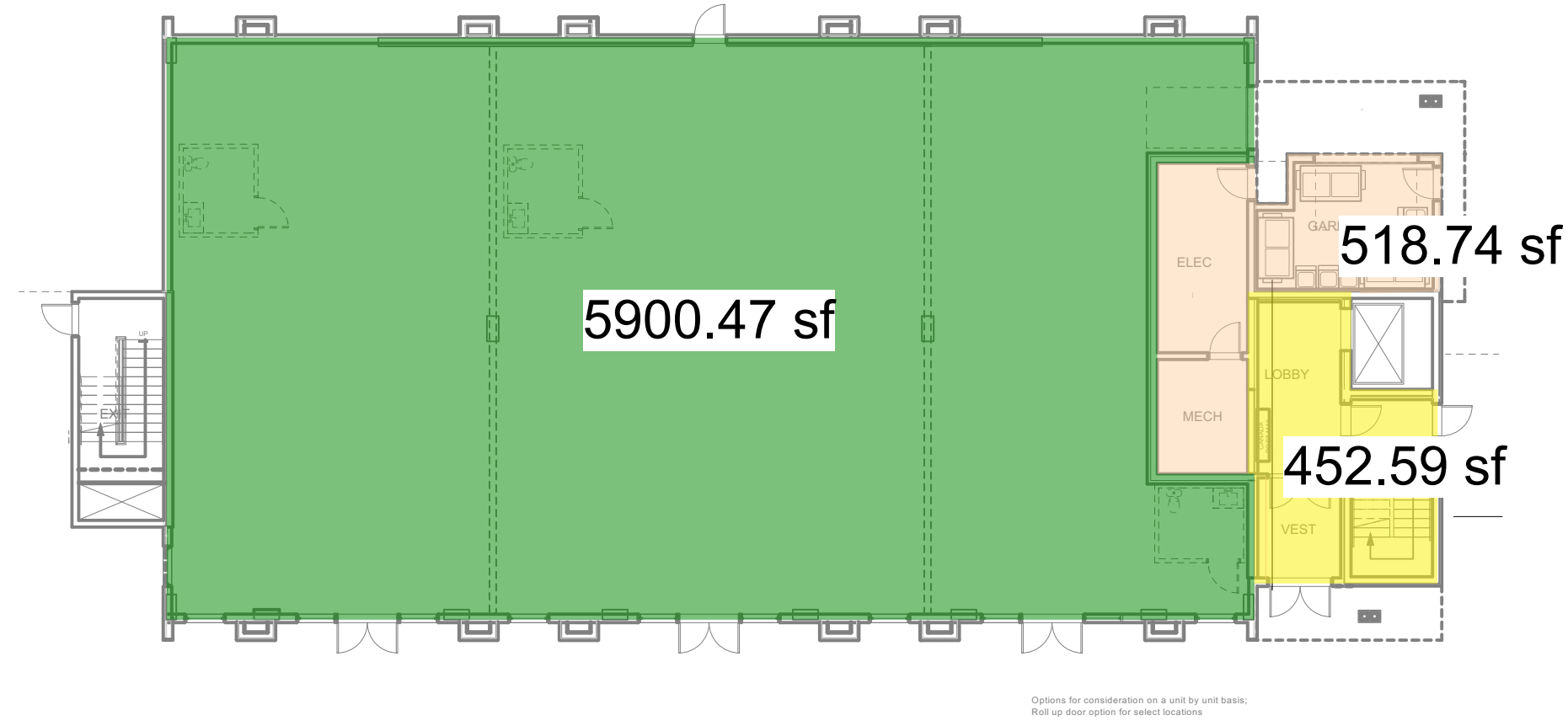
Sheet Title:
A - MUNICIPAL GFA
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

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Sealed By: _____

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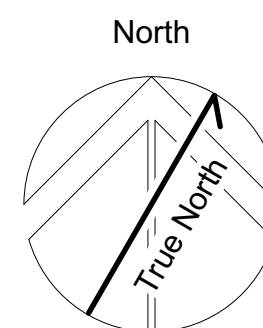
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PMG 3/32" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-2.0 A [R]**

A - MUNICIPAL GFA



1 GROUND FLOOR PLAN
1/8" = 1'0"

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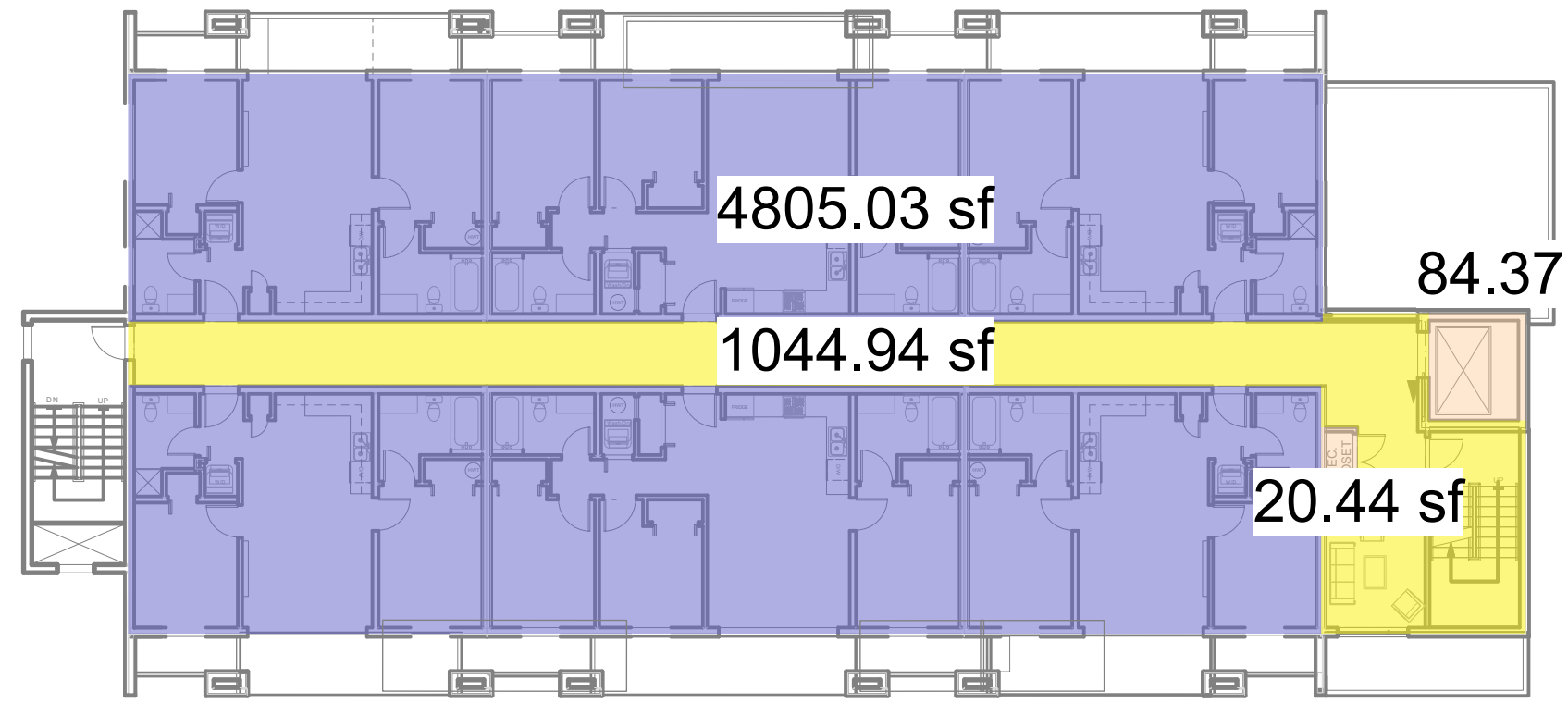
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Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No: _____ Revision: _____ Date: _____
Sealed By: _____

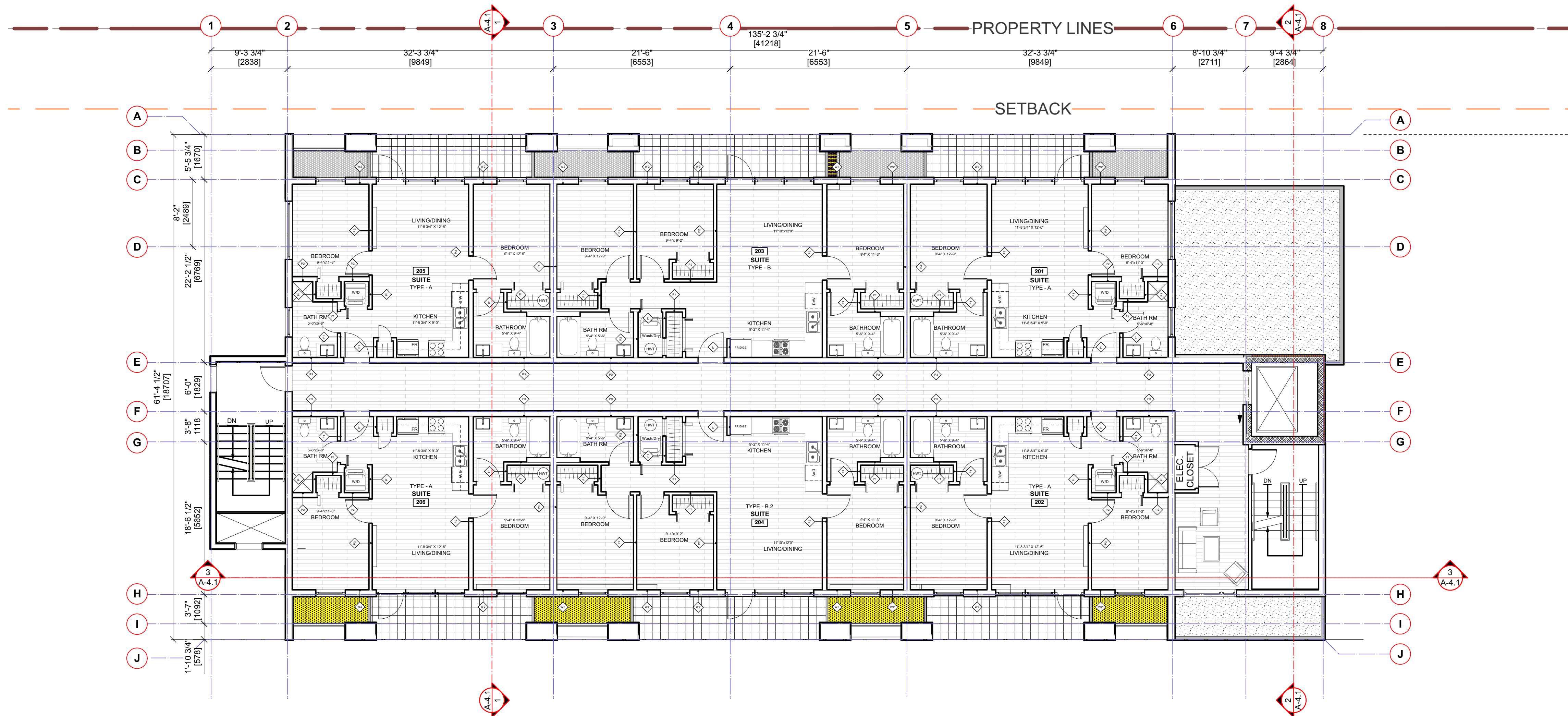
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e-mail office@murdochandco.ca

Drawn By: _____ Scale: _____
PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210

A-2.1 A [R]
A - GROUND FLOOR PLAN

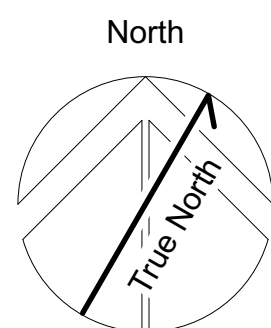


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 SECOND FLOOR PLAN
1/8" = 1'0"

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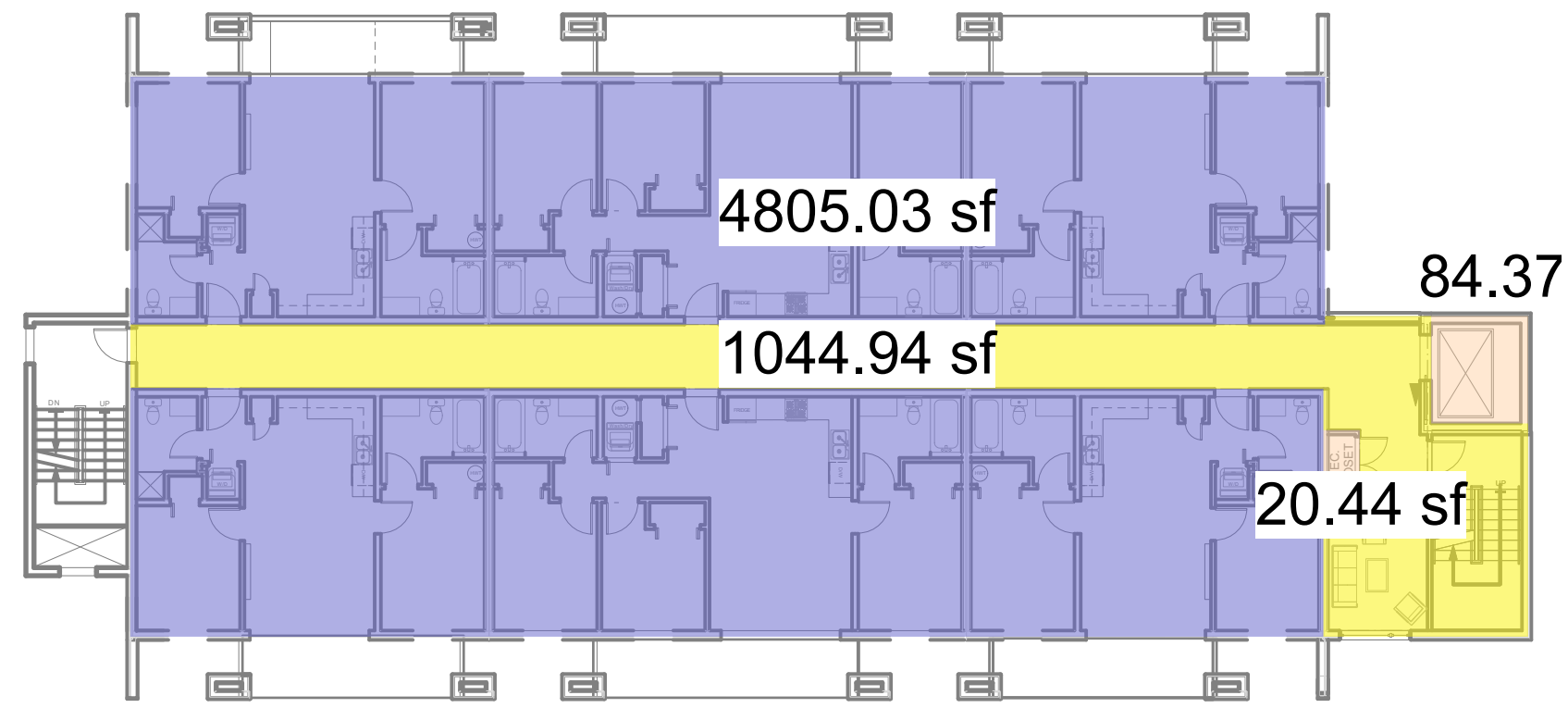
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Sheet Title:
A- SECOND FLOOR PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

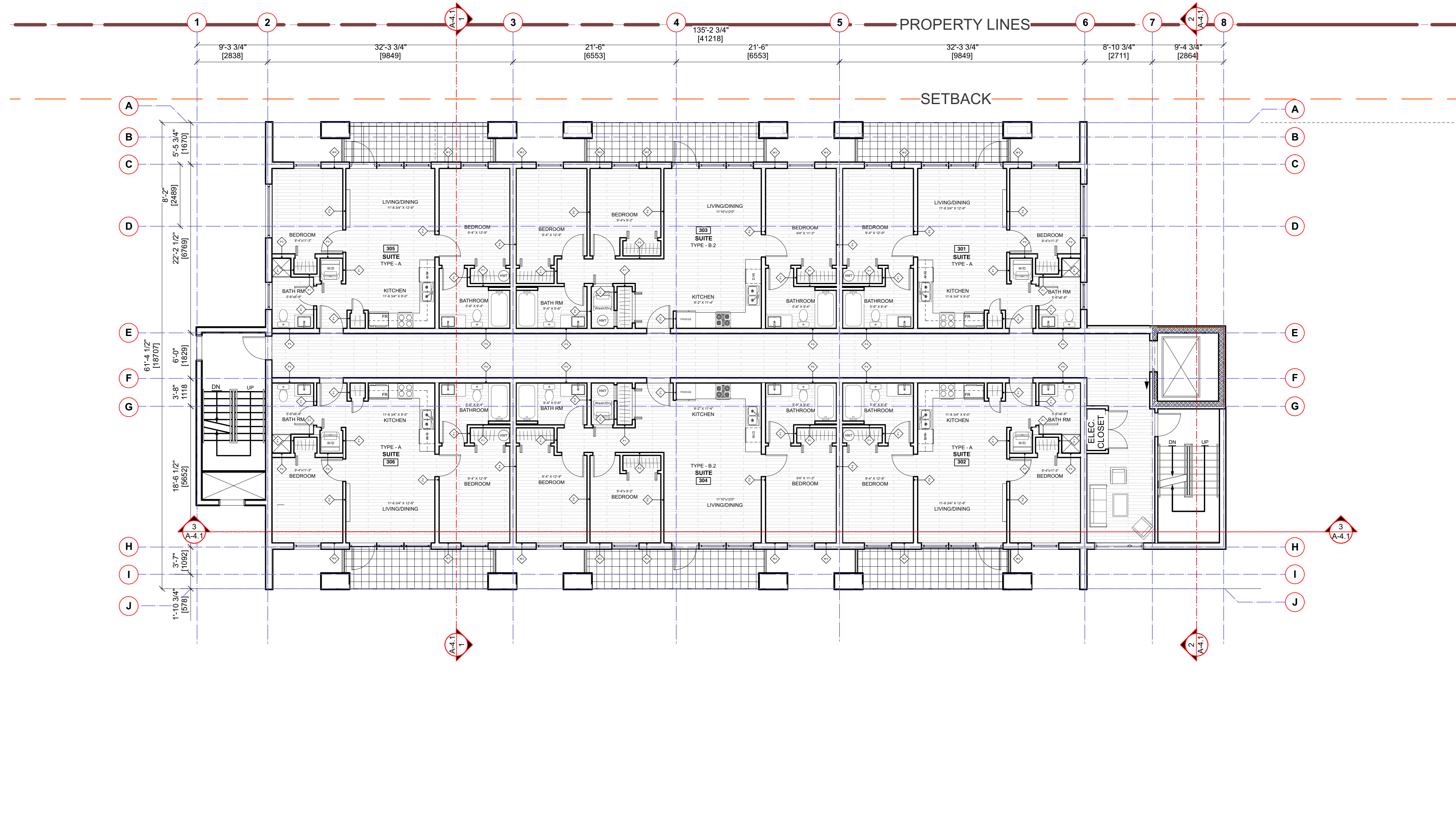
No.	Revision:	Date:	Sealed By:

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Drawn By: _____ Scale: 1/8" = 1'0"
PMG
Project No: _____ Sheet No:
1210 **A-2.2 A [R]**
A- SECOND FLOOR PLAN

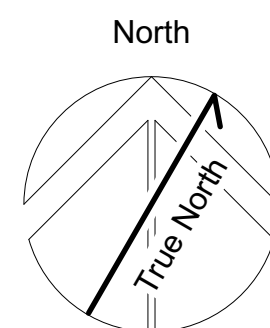


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 THIRD FLOOR PLAN
1/8" = 1'0"

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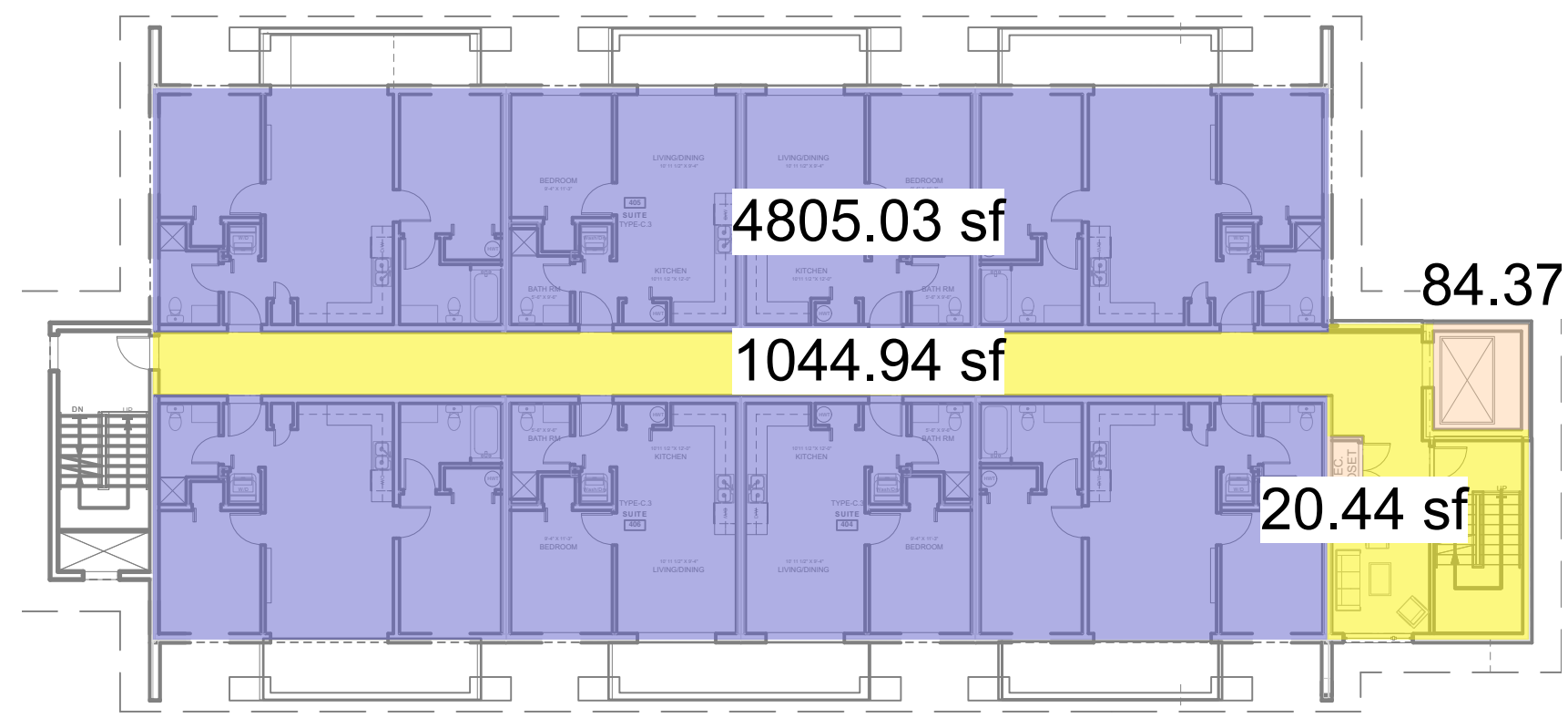
Sheet Title:
A - THIRD FLOOR PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:	Sealed By:

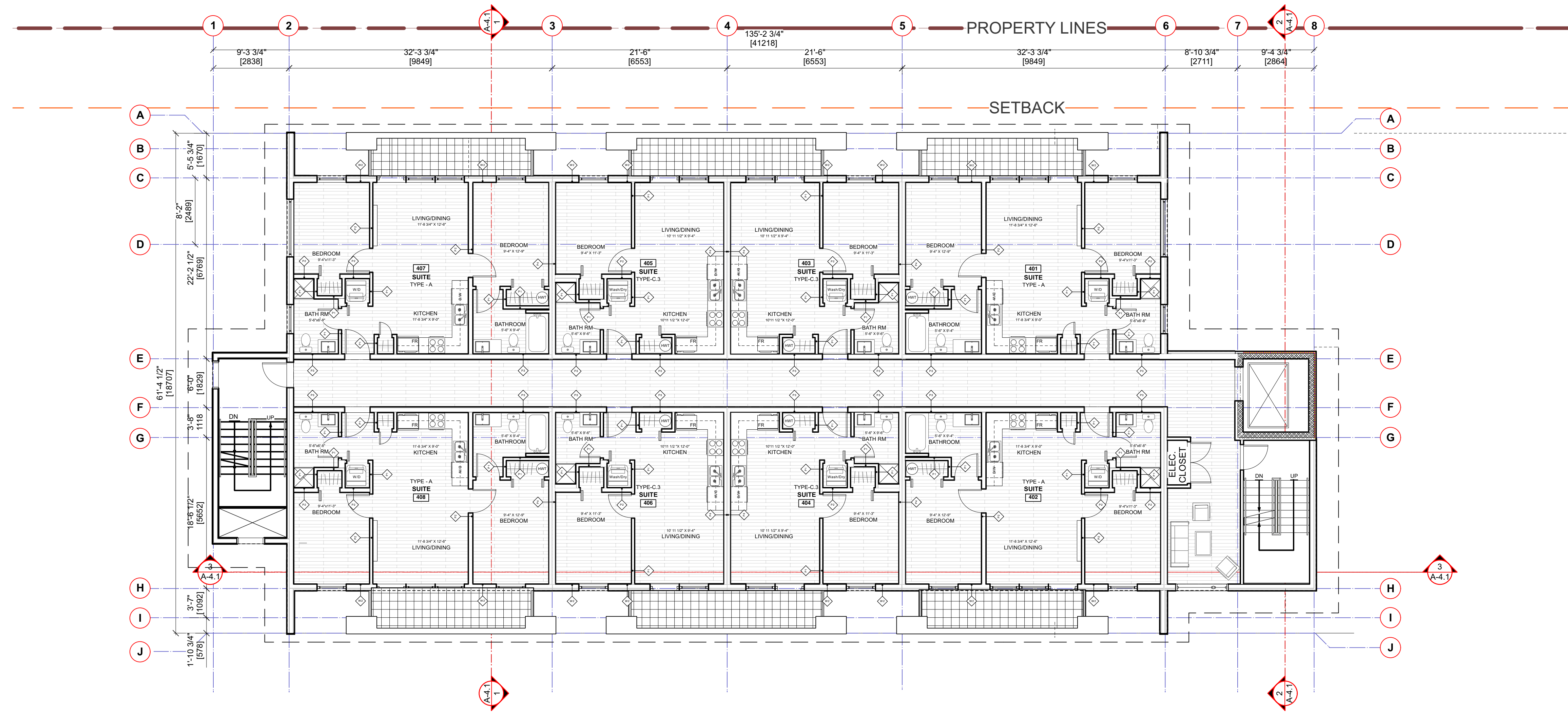
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Whistler, B.C. V0N 1B0
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PMG 1/8" = 1'0"
Project No: _____ Sheet No: _____
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A-2.3 A [R]
A - THIRD FLOOR PLAN

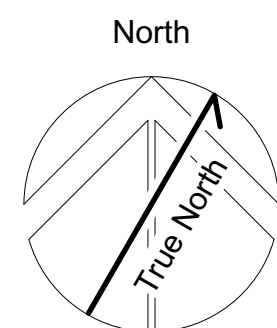


4 TWO BEDROOM RESIDENTIAL UNITS
4 ONE BEDROOM RESIDENTIAL UNITS



1 FOURTH FLOOR PLAN
1/8" = 1'0"

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A - FOURTH FLOOR PLAN
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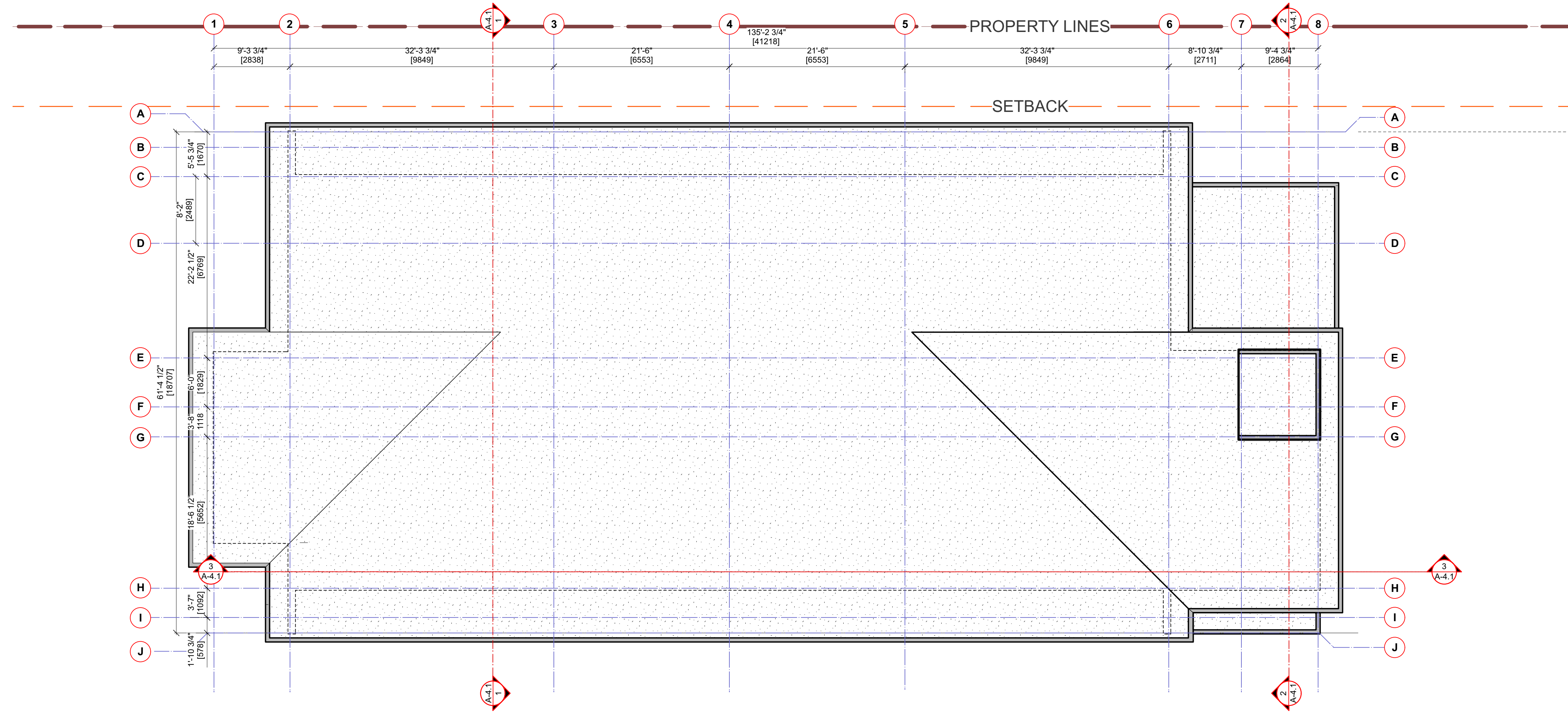
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A-2.4 A [R]
A - FOURTH FLOOR PLAN

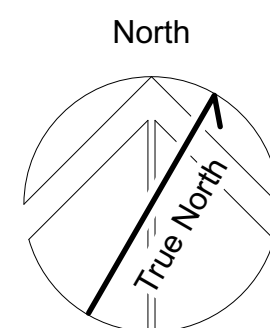
BUILDING-A HEIGHT CALCULATIONS <METRIC>				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	621.0	83.3	12.18	10.15
ROOF B	59.1	7.9	12.52	0.99
ROOF C	36.2	4.9	12.64	0.61
ROOF D	28.9	3.9	4.41	0.17
Total	745.2	100.0	Overall Mean Ht.:	11.93
Total Permitted 12.0m				

*NOTE: LOW SLOPE TORCH ON
ROOF NO SIGNIFICANT SNOW DUMP



1 ROOF PLAN - BUILDING A
1/8" = 1'0"

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A - ROOF PLAN
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No:	Revision:	Date:	Sealed By:

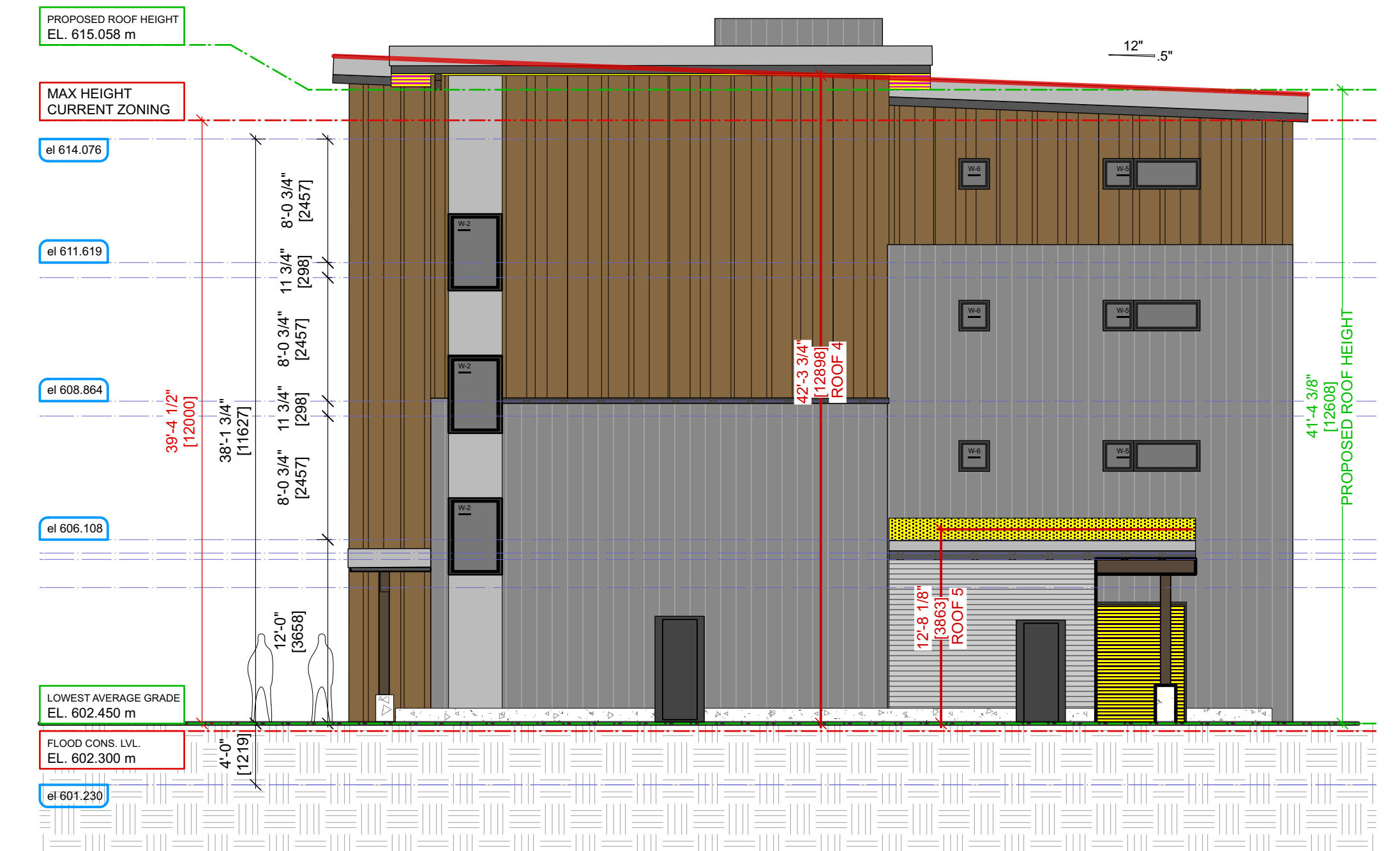
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1210 **A-2.5 A [R]**

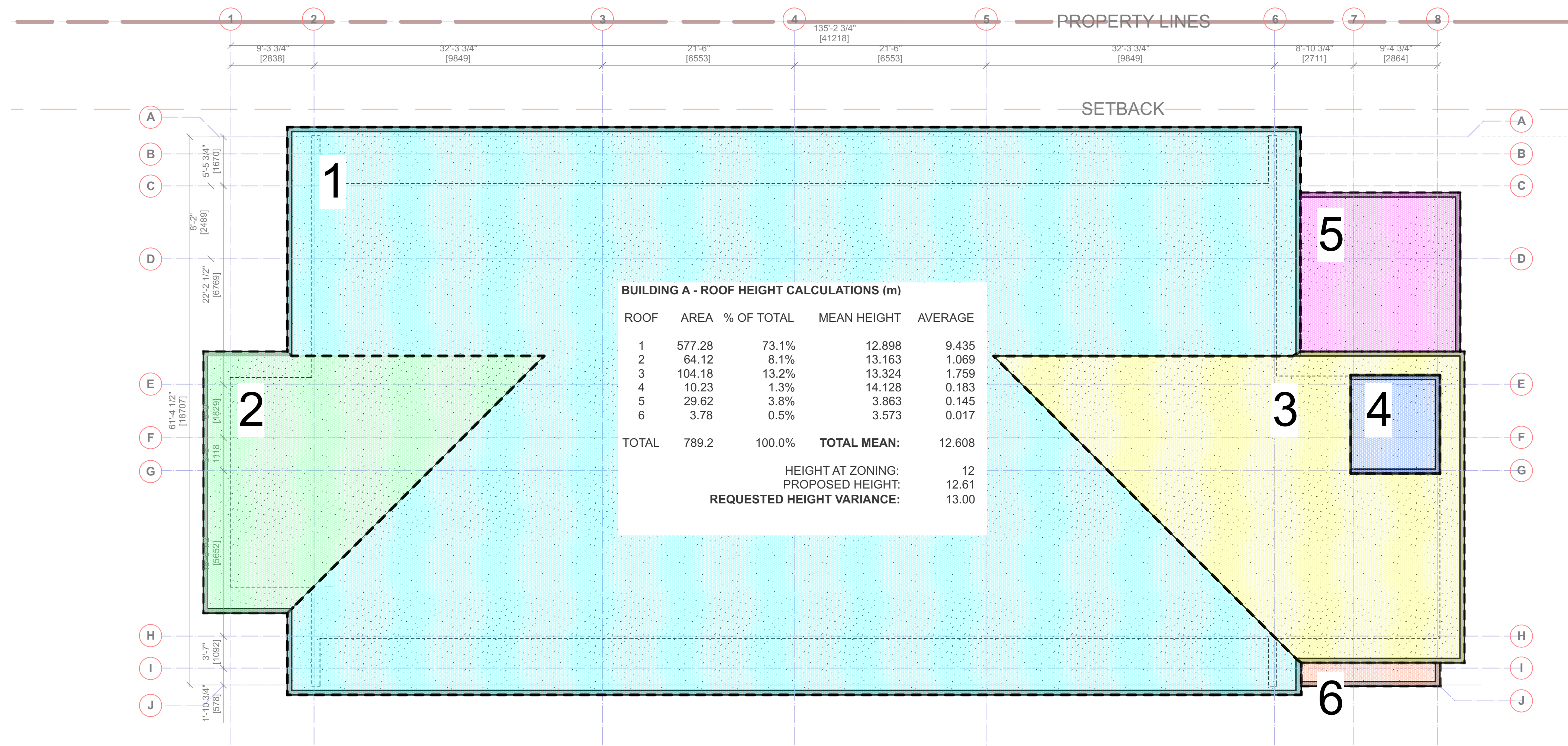
A - ROOF PLAN



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

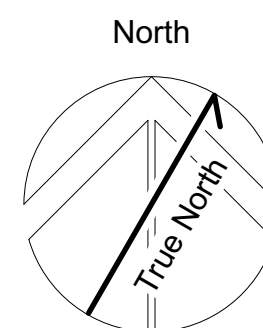


2 EAST ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF DIAGRAM
Scale: 1/8" = 1'-0"

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Sheet Title:
A - ROOF HEIGHT CALCULATIONS
Project
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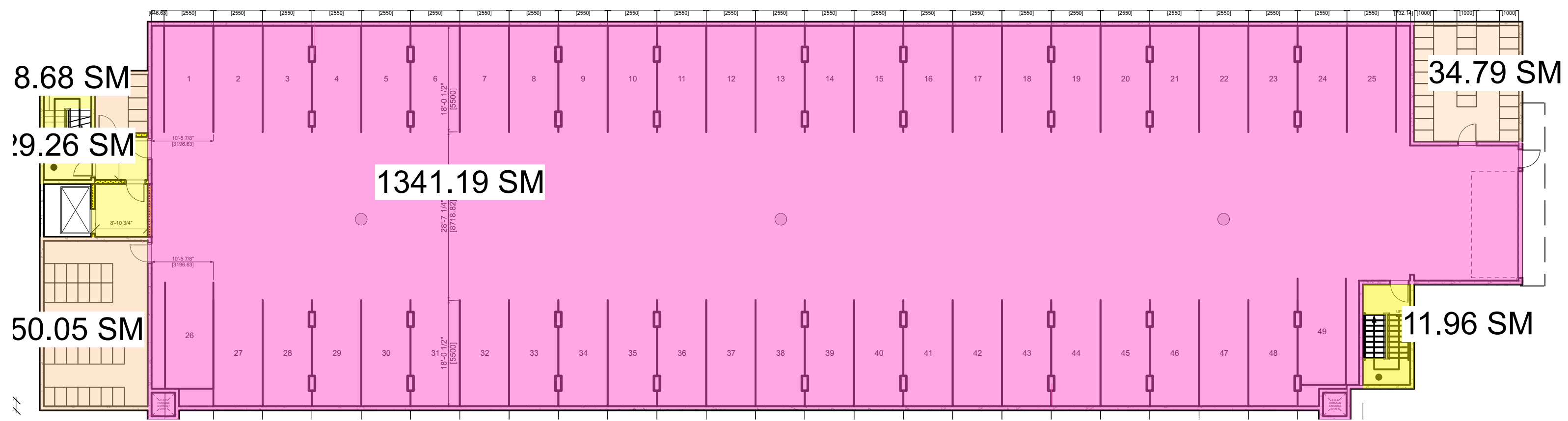
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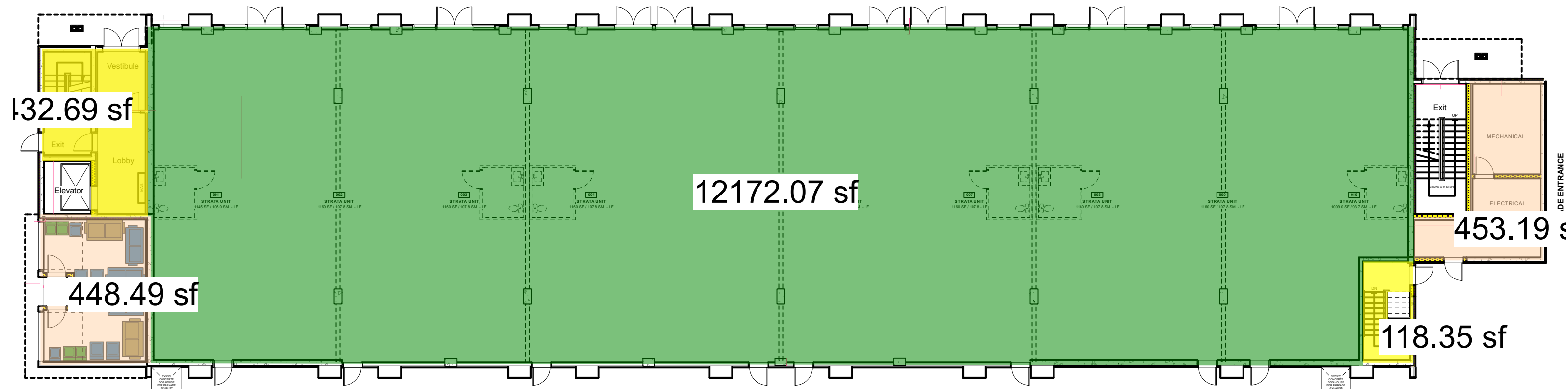
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NM 1/8" = 1'0"
Project No: _____ Sheet No: _____
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A-2.6 A [R]

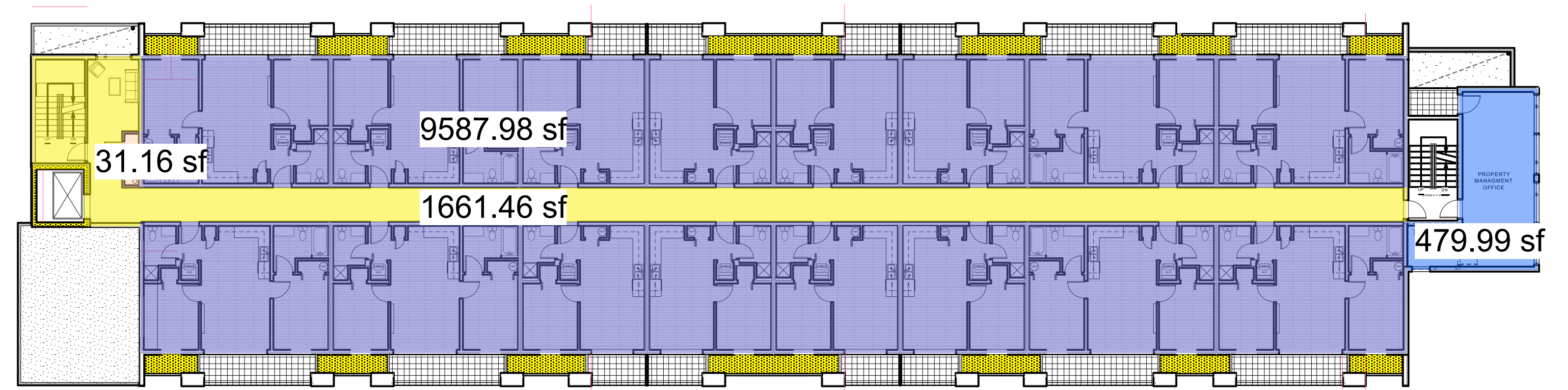
A - ROOF HEIGHT CALCULATIONS



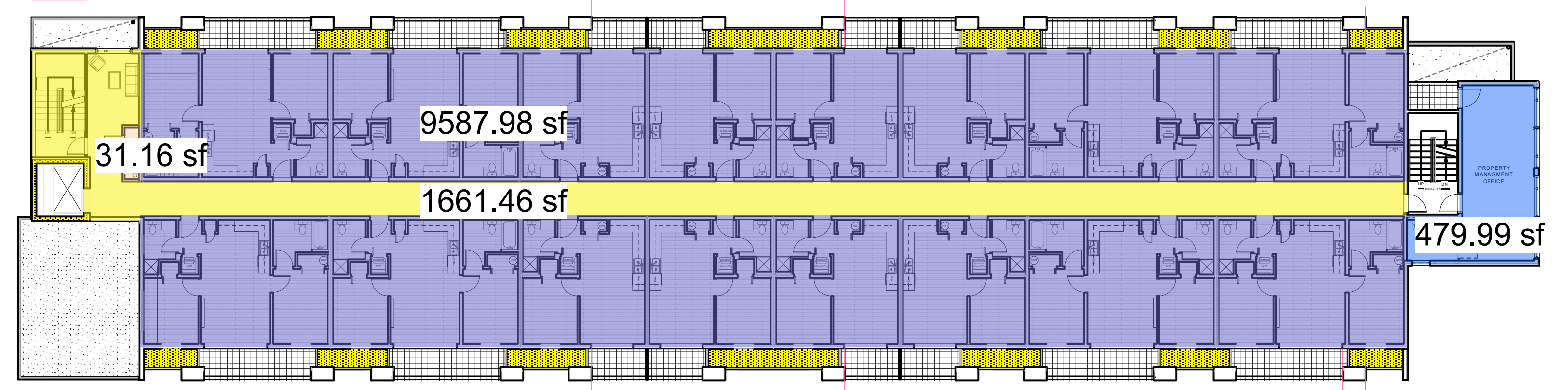
1 LOWER FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"



1 LOWER FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"



2 MAIN FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"

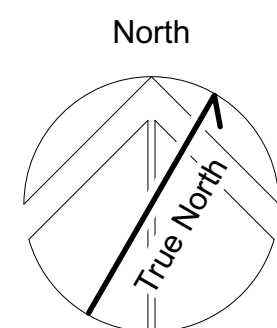


3 UPPER FLOOR PLAN - MUNICIPAL GFA
A-1.3 1/16" : 1'-0"

MUNICIPAL GROSS FLOOR AREA - Tseqwtsúqum, Function Junction

	CIRCULATION (SQ. M.)	COMMERCIAL (SQ. M.)	RESIDENTIAL (SQ. M.)	SERVICE (SQ. M.)	PARKING (SQ. M.)	BIKE STORAGE (SQ. M.)
PARKING PLAN	29.26 SQ.M.	0 SQ.M.	0 SQ.M.	0 SQ.M.	58.74 SQ.M.	93.53 SQ.M.
GROUND FLOOR	51.19 SQ.M.	1130.82 SQ.M.	0 SQ.M.	83.77 SQ.M.	0 SQ.M.	0 SQ.M.
SECOND FLOOR	150 SQ.M.	44.59 SQ.M.	890.75 SQ.M.	2.89 SQ.M.	8.73 SQ.M.	0 SQ.M.
THIRD FLOOR	150 SQ.M.	44.59 SQ.M.	890.75 SQ.M.	2.89 SQ.M.	8.73 SQ.M.	0 SQ.M.
SUB-TOTAL:	380.45 SQ.M.	1220 SQ.M.	1781.5 SQ.M.	89.55 SQ.M.	76.2 SQ.M.	93.53 SQ.M.
TOTAL GFA:	3381.95 SQ.M.					
TOTAL AREA EXCLUDED:	259.28 SQ.M.					
TOTAL AREA BUILT:	3641.23 SQ.M.					

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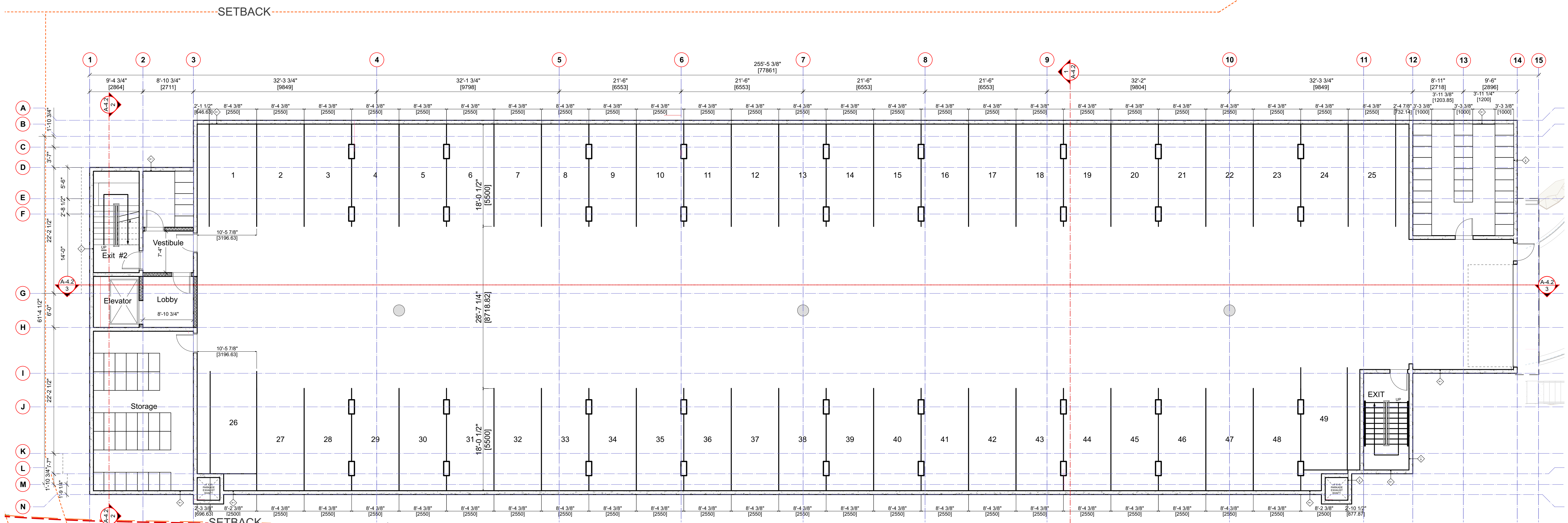
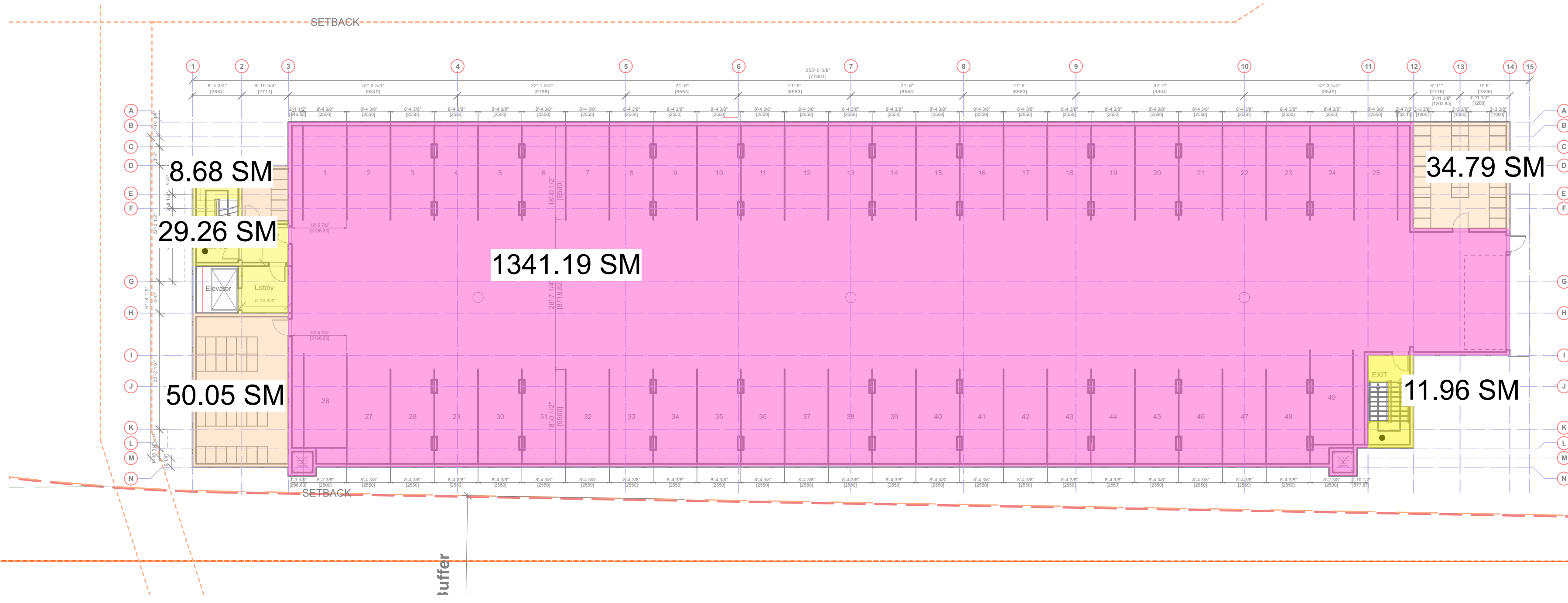
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Sealed By: _____

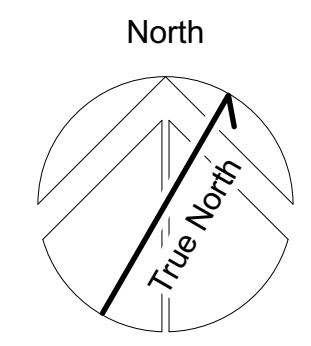
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Drawn By: _____ Scale: 1/16" = 1'0"
BM/DA
Project No: 1210 Sheet No: **A-2.00 B[R]**
B - MUNICIPAL GFA



1 UNDERGROUND PARKADE PLAN - BUILDING B
1/8" = 1'0"

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BUILDING-B FOUNDATION
Project
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1000 Alpha Lake Road, Whistler BC

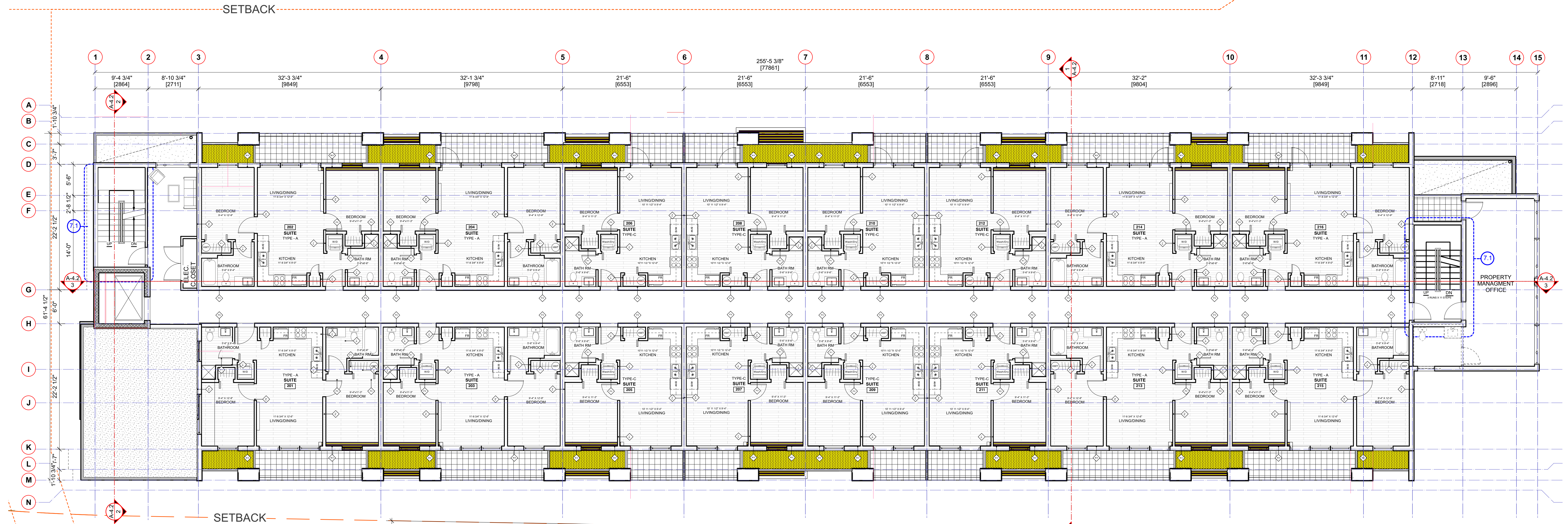
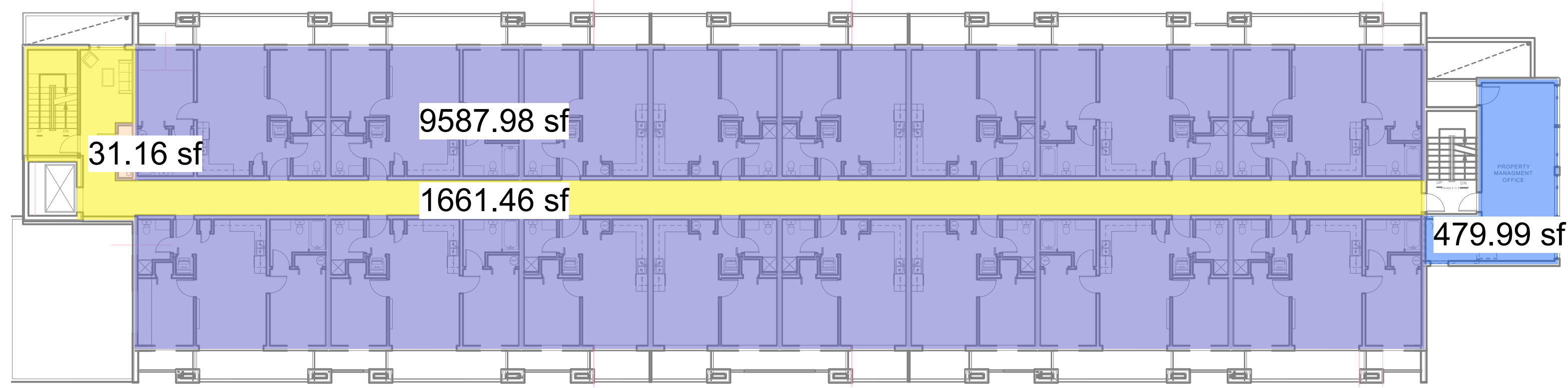
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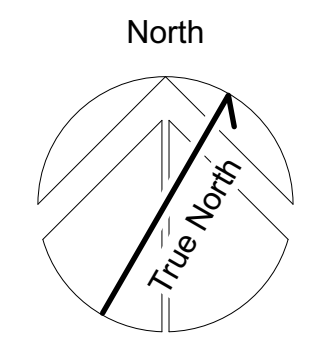
Drawn By: _____ Scale: 1/8" = 1'0"
BM/DA _____
Project No: 1210 Sheet No: **A-2.0 B [R]**
BUILDING-B FOUNDATION

8 ONE BEDROOM RESIDENTIAL UNIT
 8 TWO BEDROOM RESIDENTIAL UNITS



1 SECOND FLOOR PLAN
 1/8" = 10"

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BUILDING-B SECOND FLOOR
 Project
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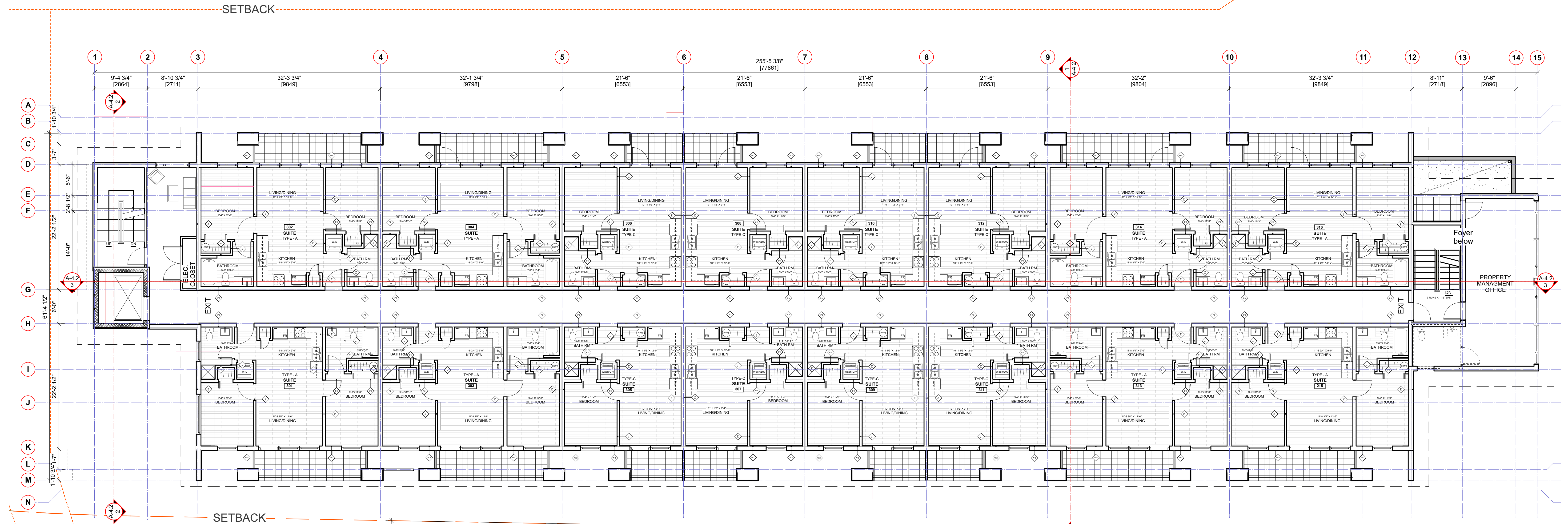
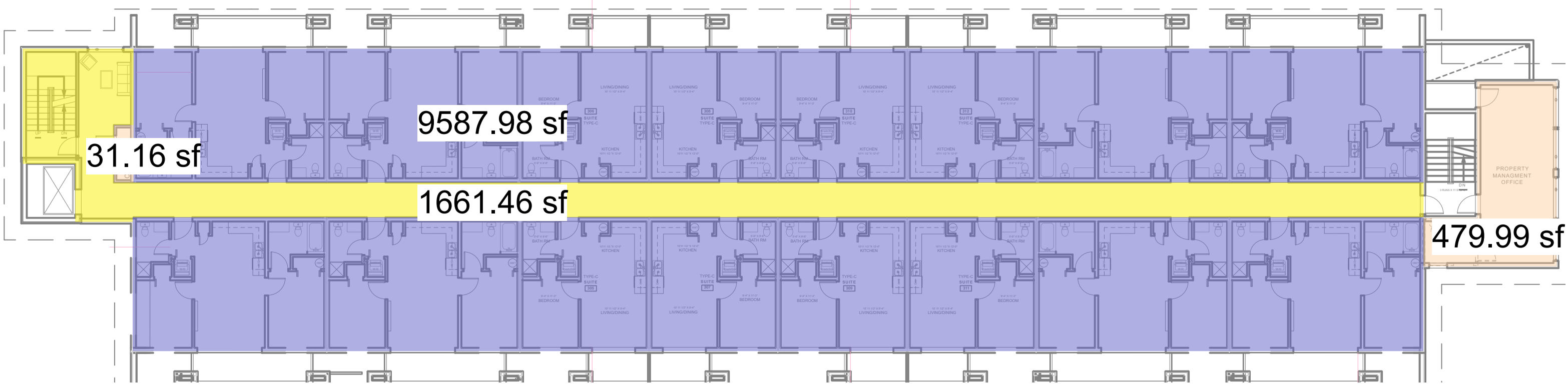
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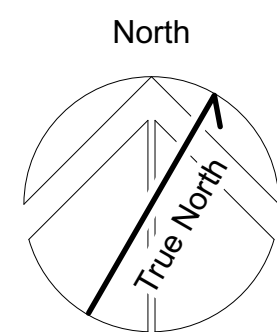
Drawn By: _____ Scale: 1/8" = 10"
 BM/DA _____
 Project No: 1210 Sheet No: **A-2.2 B [R]**
 BUILDING-B SECOND FLOOR

8 ONE BEDROOM RESIDENTIAL UNIT
 8 TWO BEDROOM RESIDENTIAL UNITS



1 THIRD FLOOR PLAN
 1/8" = 1'0"

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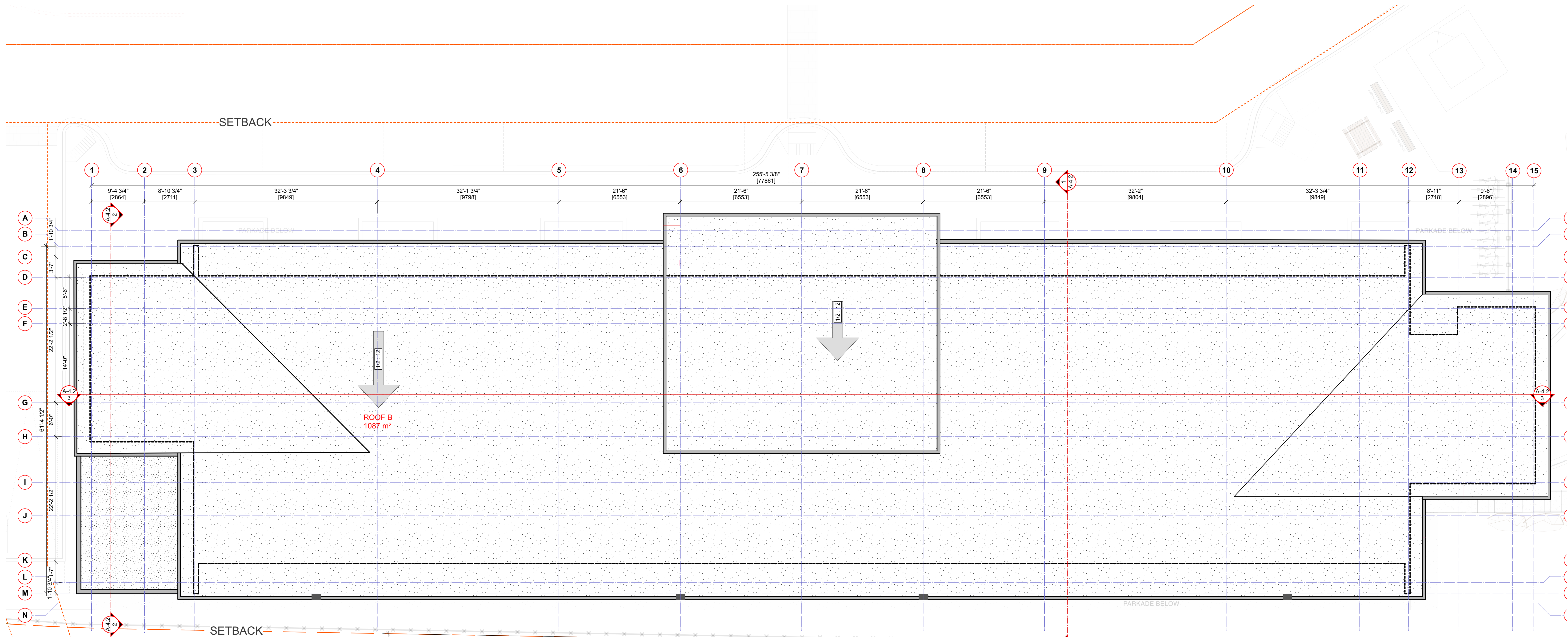
Drawn By: _____ Scale: 1/8" = 1'0"
 BM/DK
 Project No: 1210
 Sheet No: 1210

A-2.3 B [R]
 BUILDING-B THIRD FLOOR

BUILDING-B HEIGHT CALCULATIONS <METRIC>				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	85.7	6.4	12.42	0.80
ROOF B	1087.0	81.3	11.60	9.43
ROOF C	59.5	4.4	11.87	0.53
ROOF D	45.6	3.4	7.10	0.24
ROOF E	59.5	4.4	11.80	0.53
Total	1337.3	100.0	Overall Mean HT.:	11.52

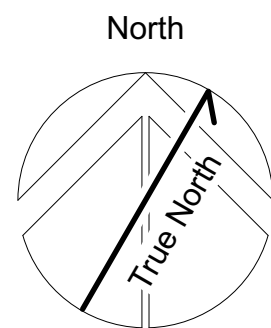
Total Permitted 12m

*NOTE: LOW SLOPE TORCH ON ROOF NO SIGNIFICANT SNOW DUMP



1 ROOF PLAN - BUILDING B
1/8" = 1'0"

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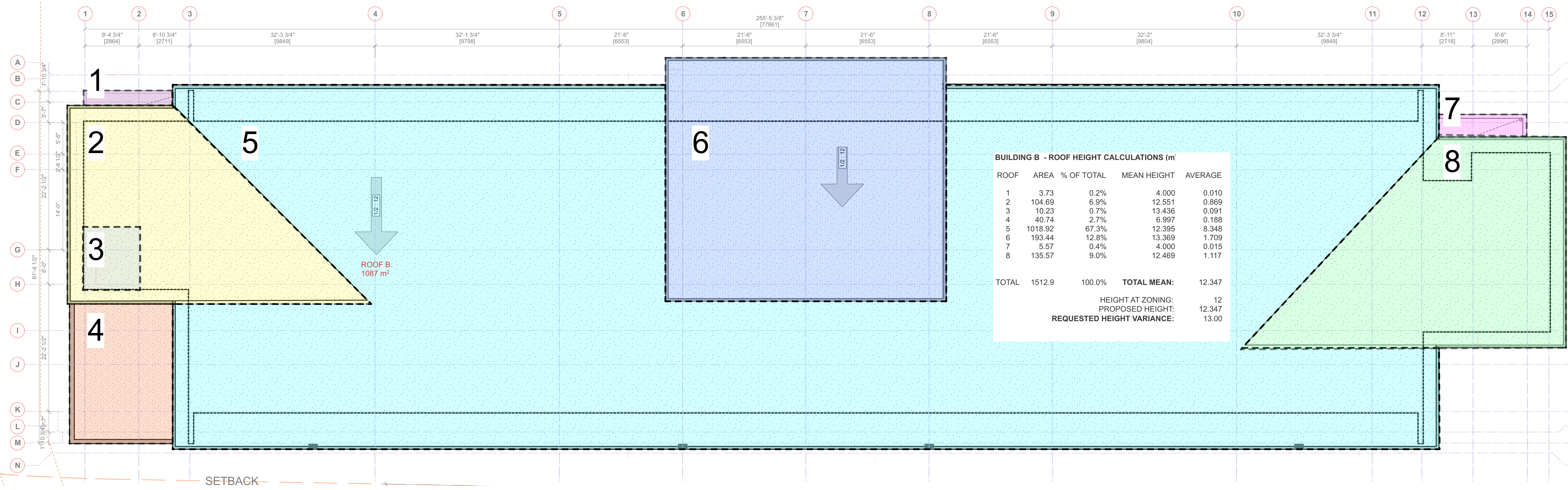
A-2.4 B [R]
BUILDING-B ROOF PLAN



1 NORTH ELEVATION - EAST
Scale: 1/8" = 1'-0"

2 NORTH ELEVATION - WEST
Scale: 1/8" = 1'-0"

2 WEST ELEVATION
Scale: 1/8" = 1'-0"



BUILDING B - ROOF HEIGHT CALCULATIONS (m)

ROOF	AREA	% OF TOTAL	MEAN HEIGHT	AVERAGE	
1	3.73	0.2%	4.000	0.010	
2	104.69	6.9%	12.551	0.869	
3	10.23	0.7%	13.436	0.091	
4	40.74	2.7%	6.997	0.188	
5	1018.92	67.3%	12.395	8.348	
6	193.44	12.8%	13.369	1.709	
7	5.57	0.4%	4.000	0.015	
8	135.57	9.0%	12.469	1.117	
TOTAL	1512.9	100.0%	TOTAL MEAN:	12.347	
				HEIGHT AT ZONING:	12
				PROPOSED HEIGHT:	12.347
				REQUESTED HEIGHT VARIANCE:	13.00

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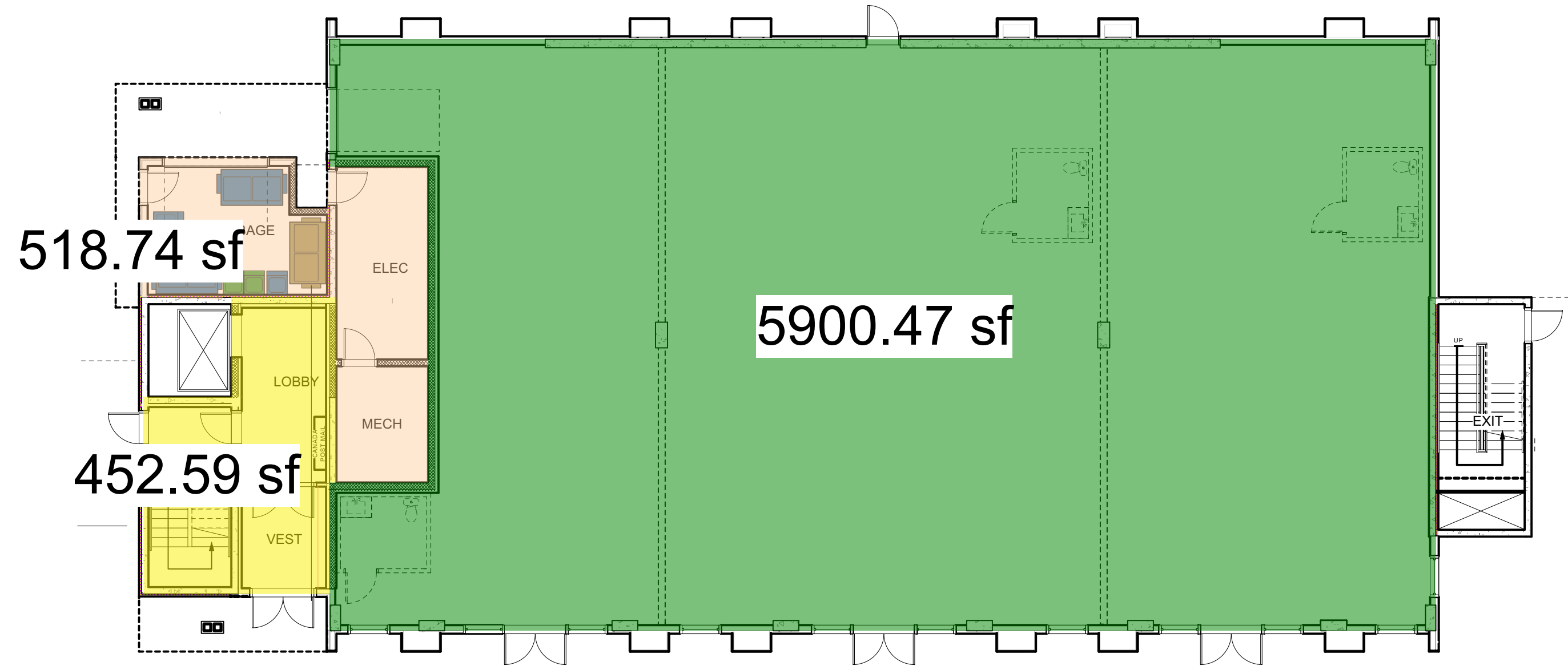
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B - ROOF HEIGHT CALCULATIONS
 Project
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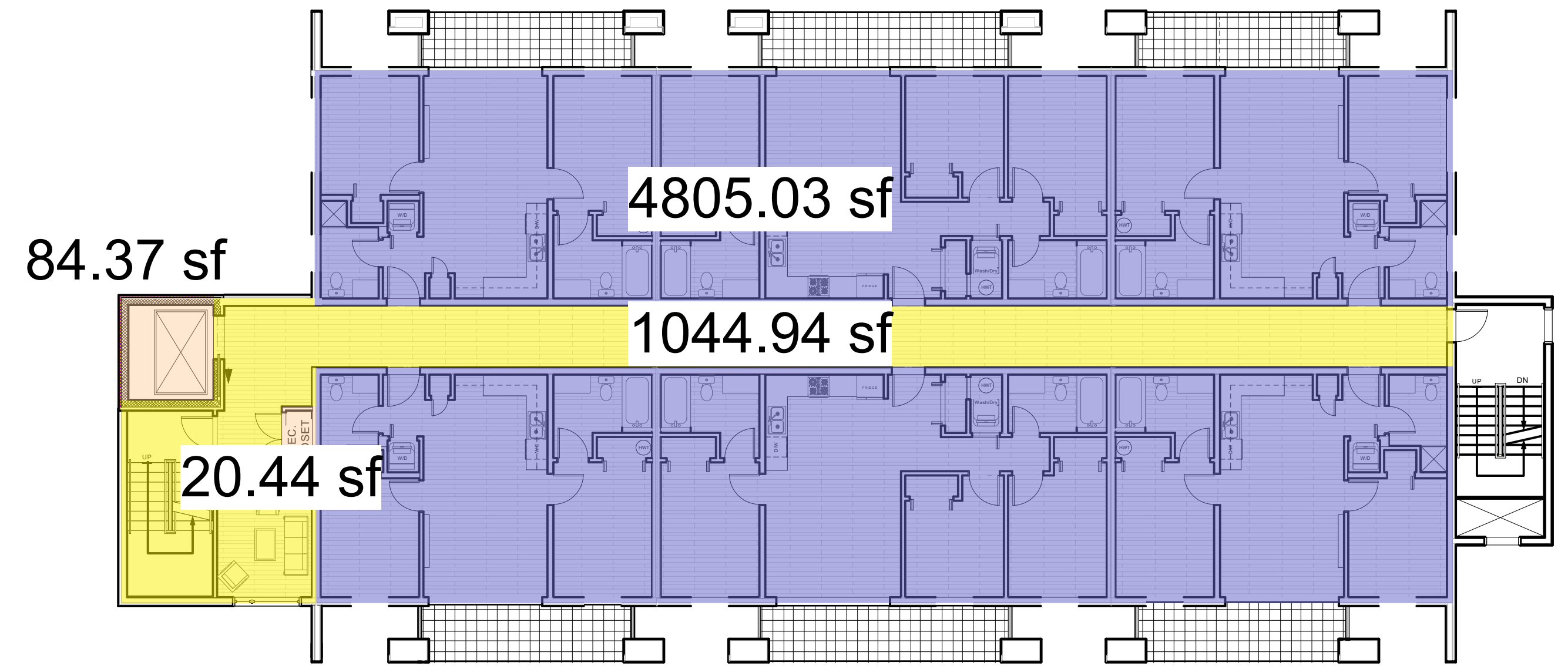
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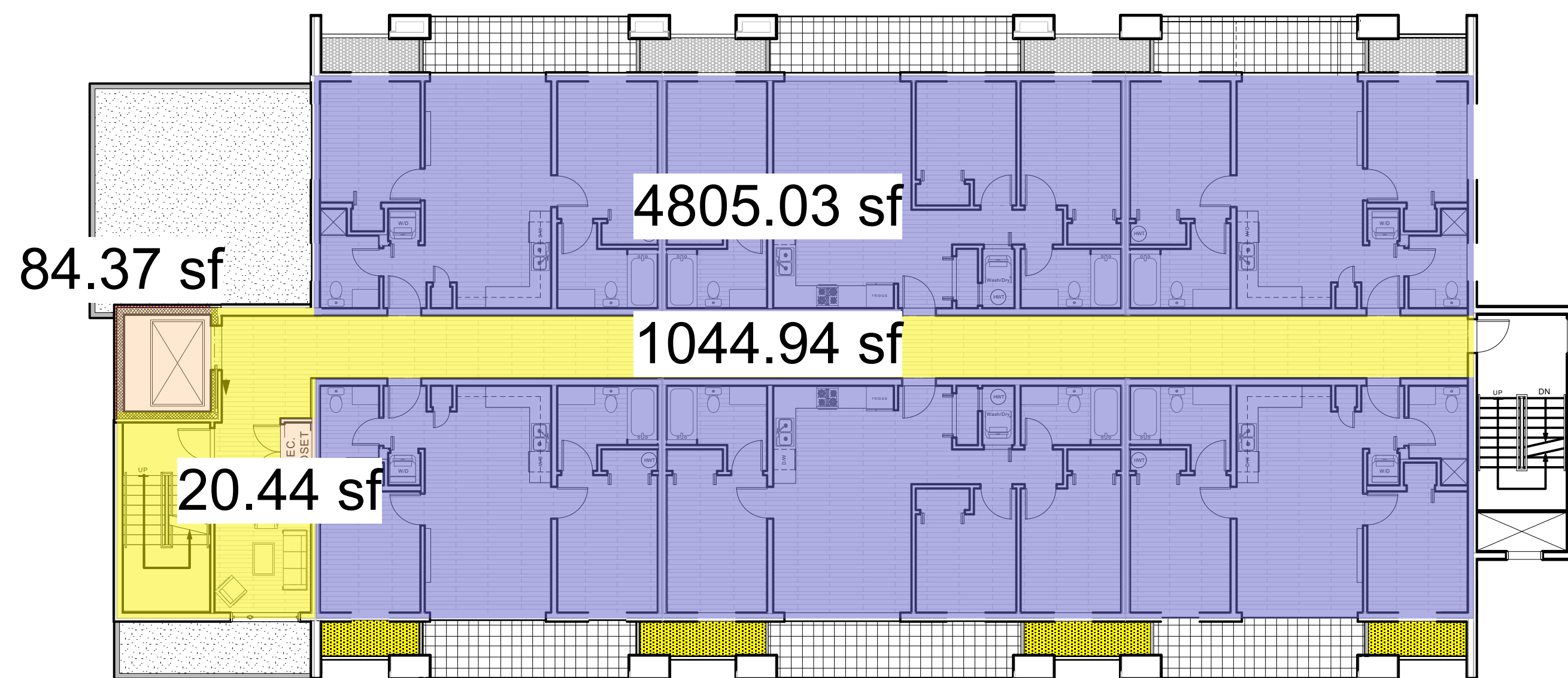
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 Project No: _____ Sheet No: _____
 1210 **A-2.5 B [R]**
 B - ROOF HEIGHT CALCULATIONS



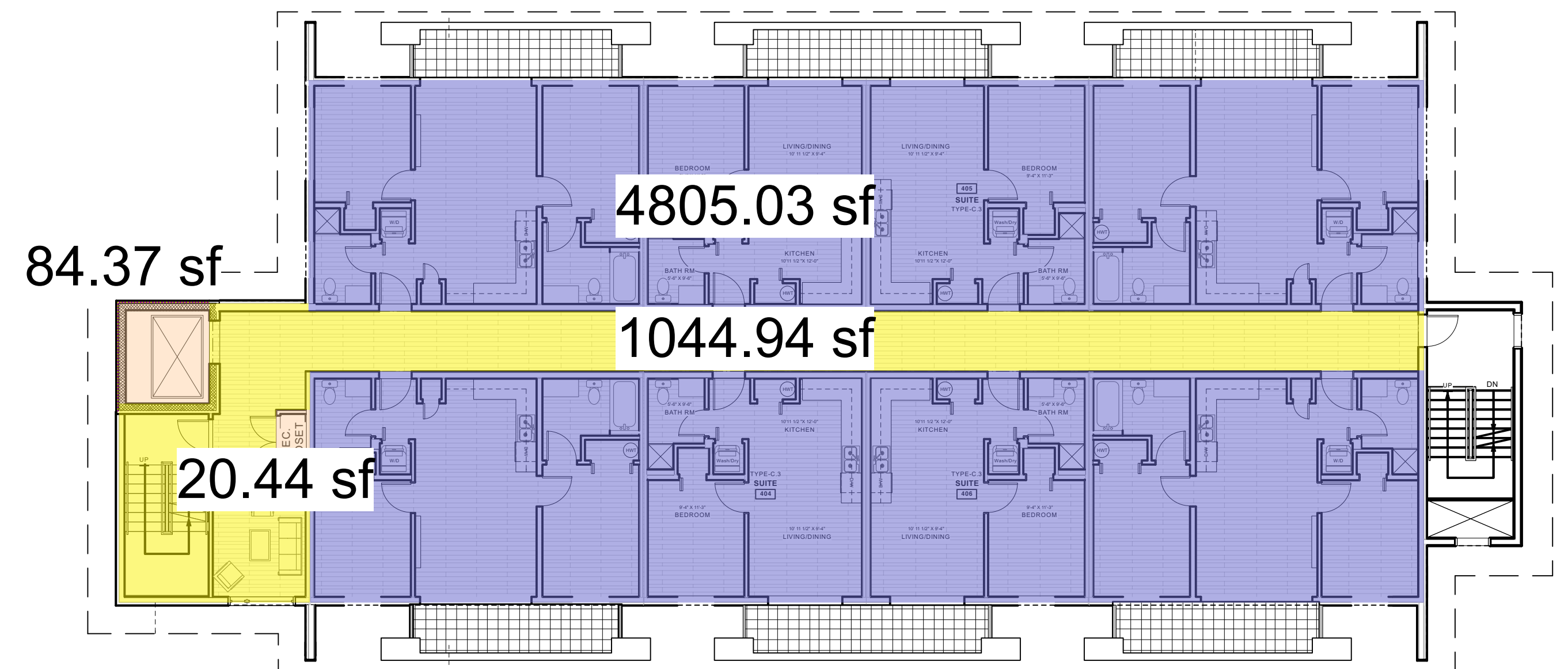
1 GROUND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



3 THIRD FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"



2 SECOND FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

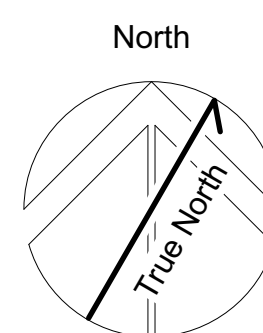


4 FOURTH FLOOR PLAN - MUNICIPAL GFA
A-1.3 3/32" : 1'-0"

MUNICIPAL GROSS FLOOR AREA - Tseqwtsúqum, Function Junction

	CIRCULATION (SQ.M.)	COMMERCIAL (SQ.M.)	RESIDENTIAL (SQ.M.)	SERVICE (SQ.M.)	BIKE STORAGE (SQ.M.)
GROUND FLOOR	42.05 SQ.M.	548.13 SQ.M.	0.00 SQ.M.	48.19 SQ.M.	0.00 SQ.M.
SECOND FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
THIRD FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
FOURTH FLOOR	97.07 SQ.M.	0.00 SQ.M.	446.40 SQ.M.	1.90 SQ.M.	0.00 SQ.M.
SUB-TOTAL:	333.26 SQ.M.	548.13 SQ.M.	1339.20 SQ.M.	53.88 SQ.M.	0.00 SQ.M.
TOTAL GFA:	2220.58 SQ.M.				
TOTAL AREA EXCLUDED:	53.88 SQ.M.				
TOTAL AREA BUILT:	2274 SQ.M.				

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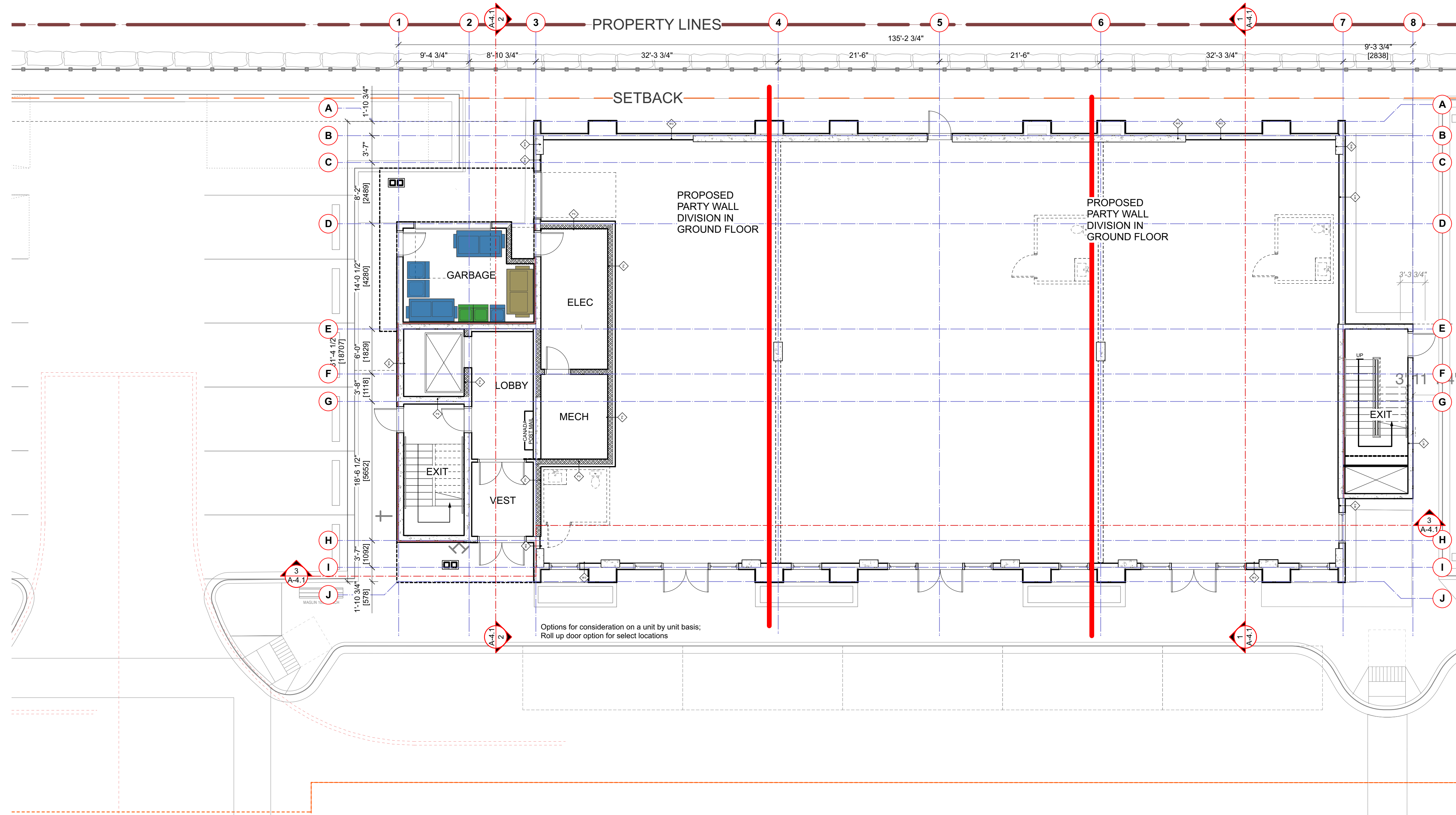
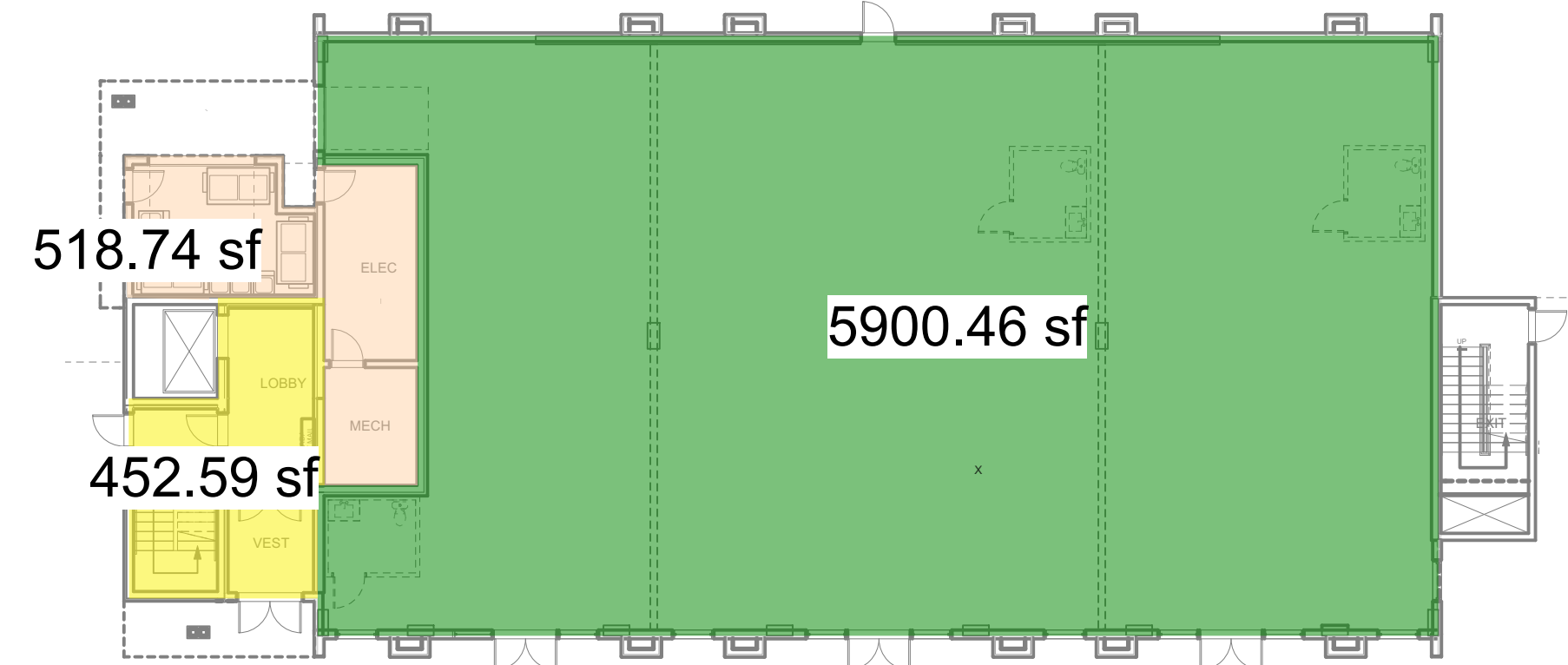
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Sheet Title:
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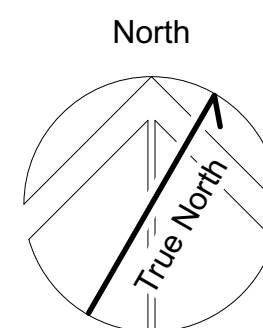
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Project No: _____ Sheet No: _____
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C - MUNICIPAL GFA



1 GROUND FLOOR PLAN
1/8" = 1'0"

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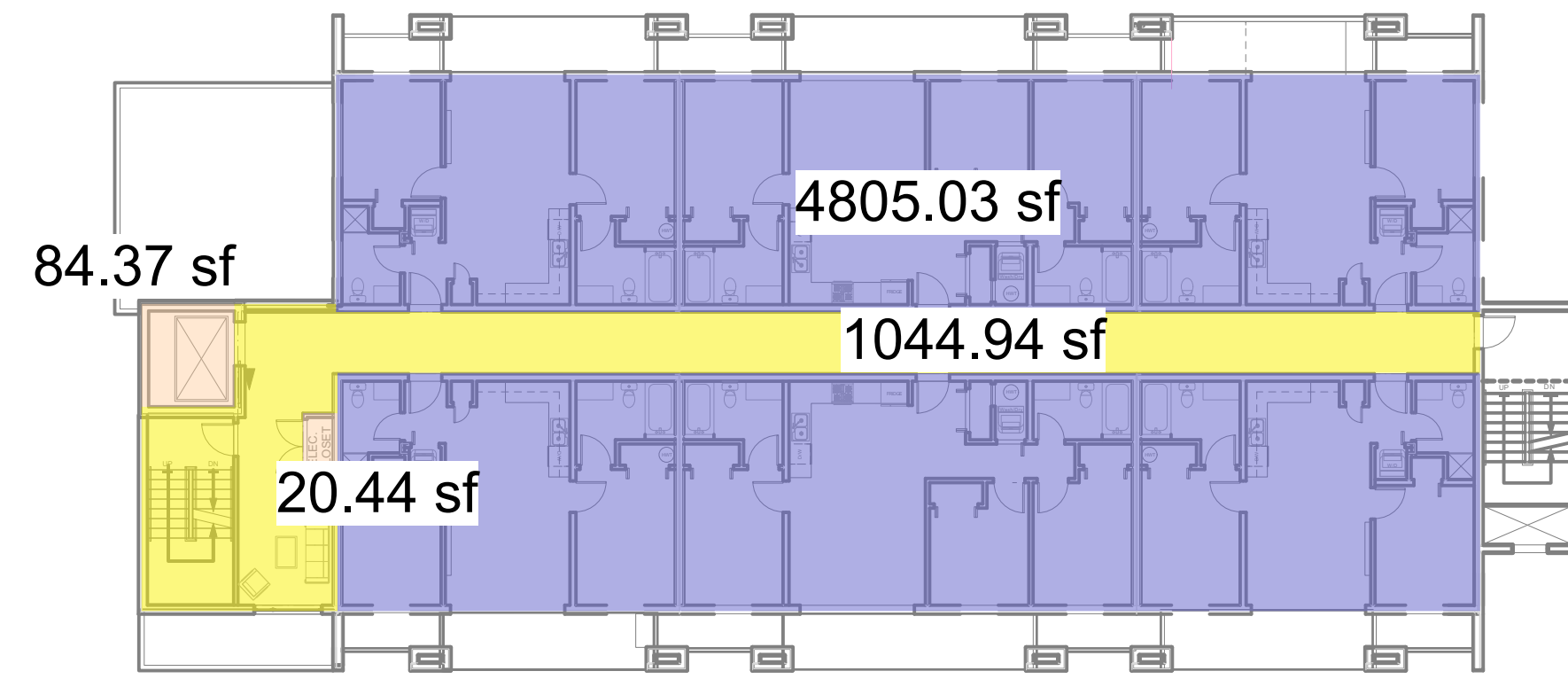
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Sheet Title:
BUILDING-C GROUND FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

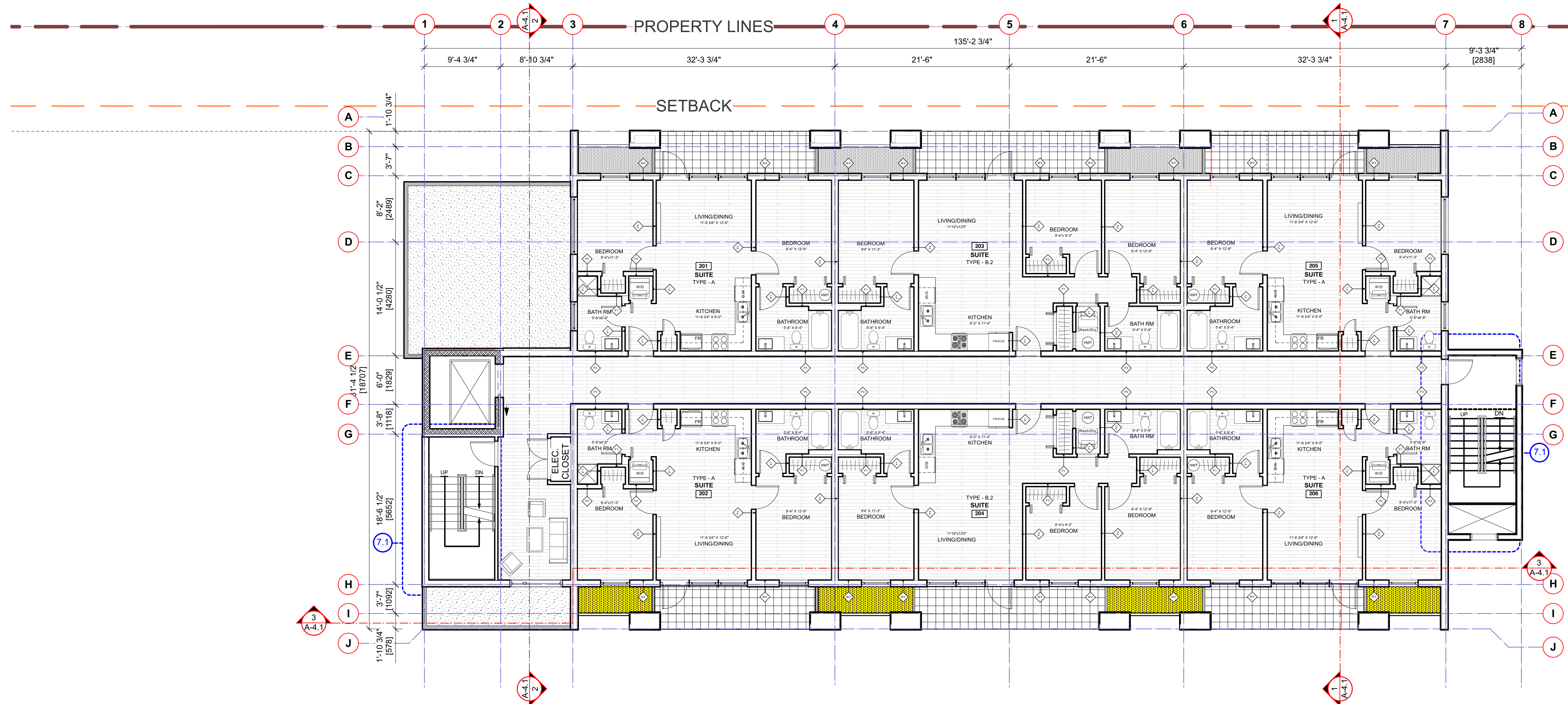
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BM/DA 1/8" = 1'0"
Project No: _____ Sheet No: _____
1210 **A-2.1 C [R]**
BUILDING-C GROUND FLOOR

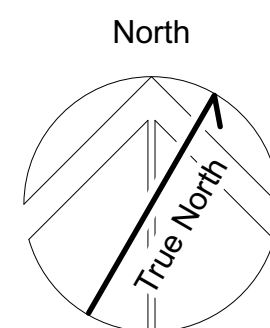


4 TWO BEDROOM RESIDENTIAL UNITS
2 THREE BEDROOM RESIDENTIAL UNITS



1 SECOND FLOOR PLAN
1/8" = 1'0"

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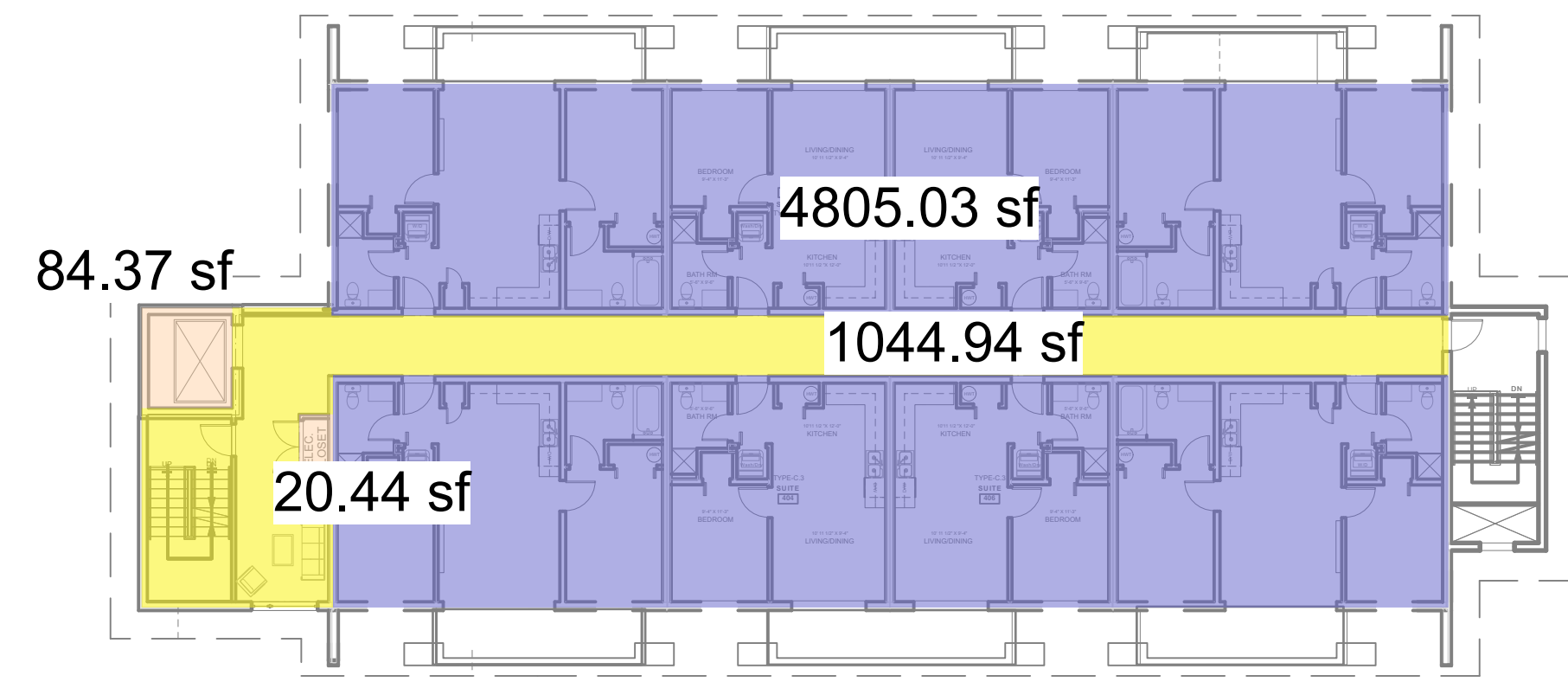
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BUILDING-C SECOND FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

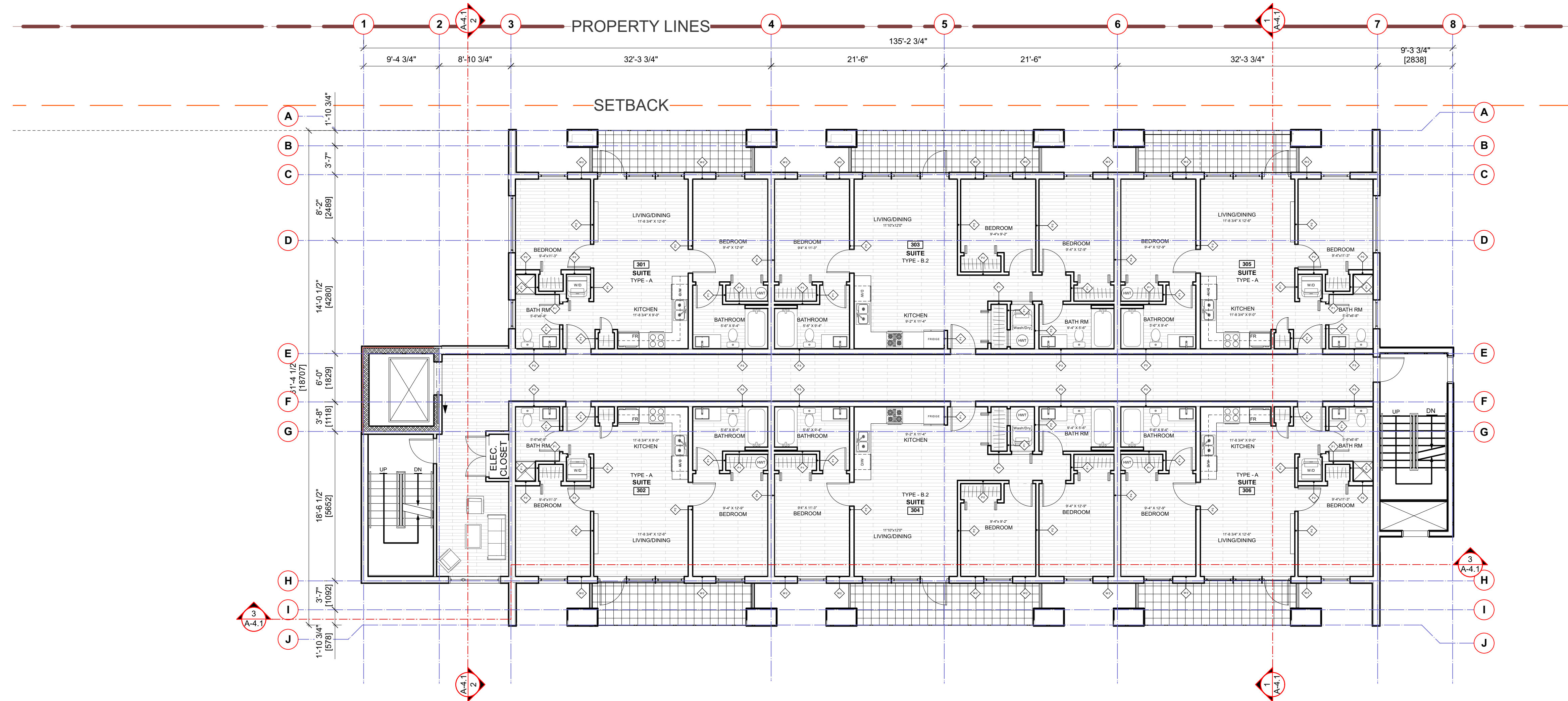
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BUILDING-C SECOND FLOOR

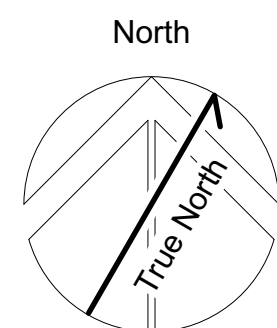


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1 THIRD FLOOR PLAN
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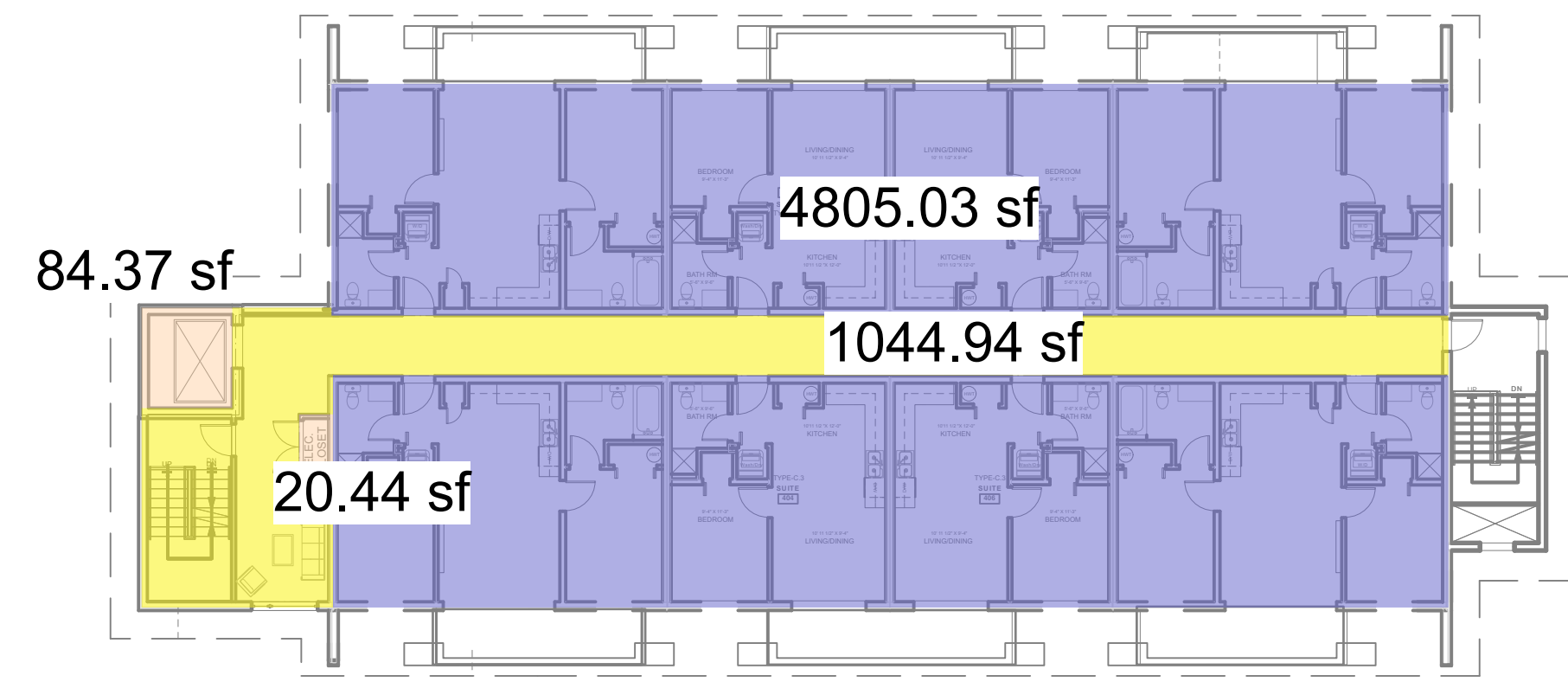
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BUILDING-C THIRD FLOOR
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

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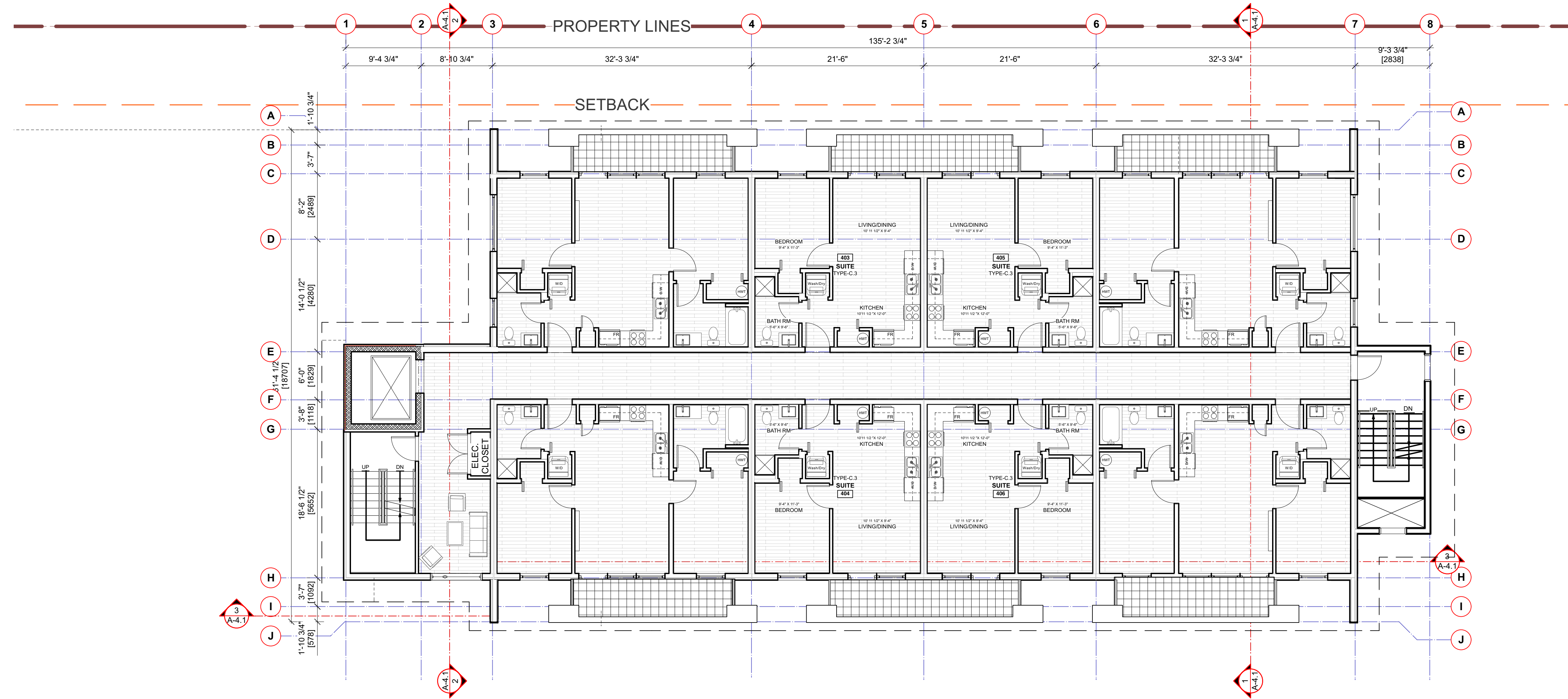
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A-2.3 C [R]
BUILDING-C THIRD FLOOR

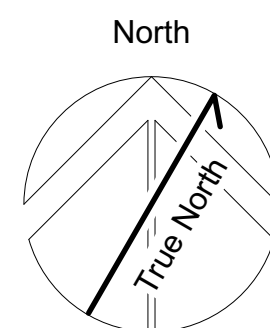


4 TWO BEDROOM RESIDENTIAL UNITS
4 ONE BEDROOM RESIDENTIAL UNITS



1 FOURTH FLOOR PLAN
1/8" = 1'0"

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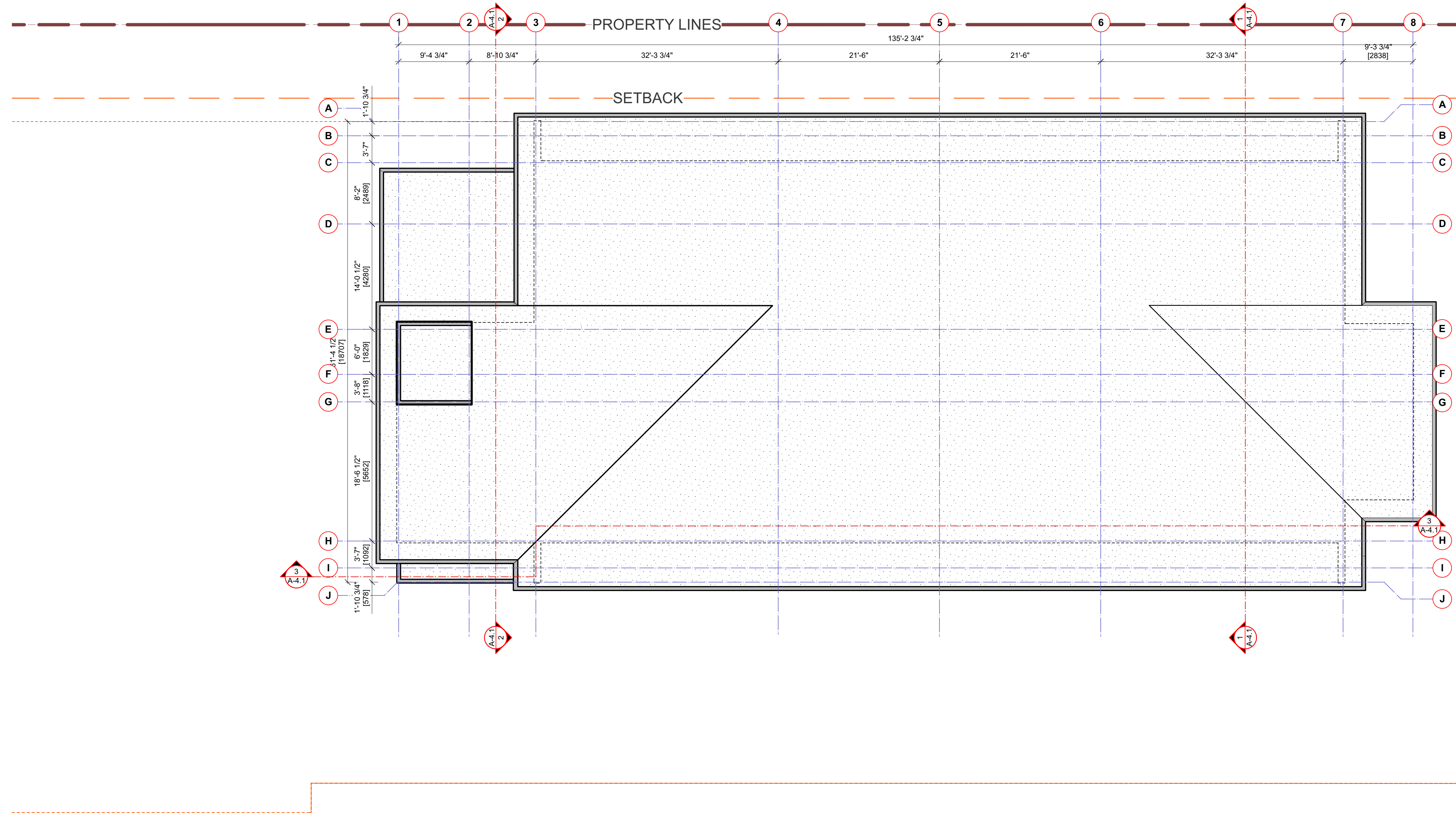
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A-2.4 C [R]
BUILDING-C FOURTH FLOOR

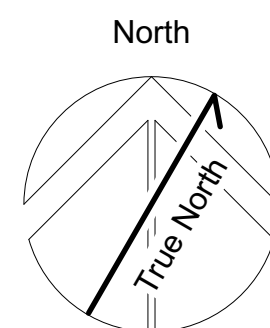
BUILDING-A HEIGHT CALCULATIONS <METRIC>				
Roof	Area	% of tot.	Mean height	Wtd. Avg.
ROOF A	621.0	83.3	12.18	10.15
ROOF B	59.1	7.9	12.52	0.99
ROOF C	36.2	4.9	12.64	0.61
ROOF D	28.9	3.9	4.41	0.17
Total	745.2	100.0	Overall Mean Ht.:	11.93
Total Permitted 12.0m				

*NOTE: LOW SLOPE TORCH ON
ROOF NO SIGNIFICANT SNOW DUMP



1 ROOF PLAN - BUILDING C
1/8" = 1'0"

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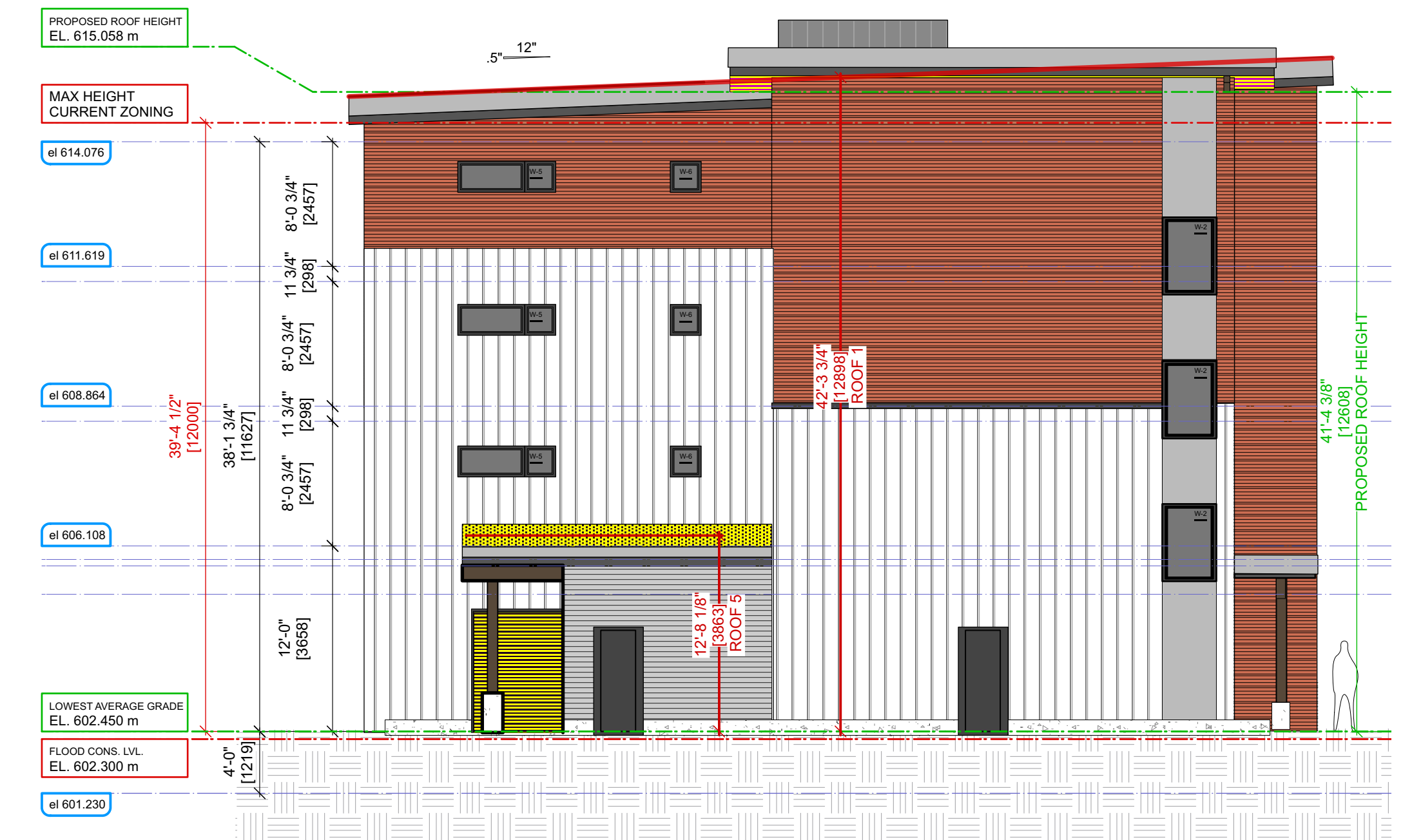
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Project No: _____ Sheet No: _____
1210

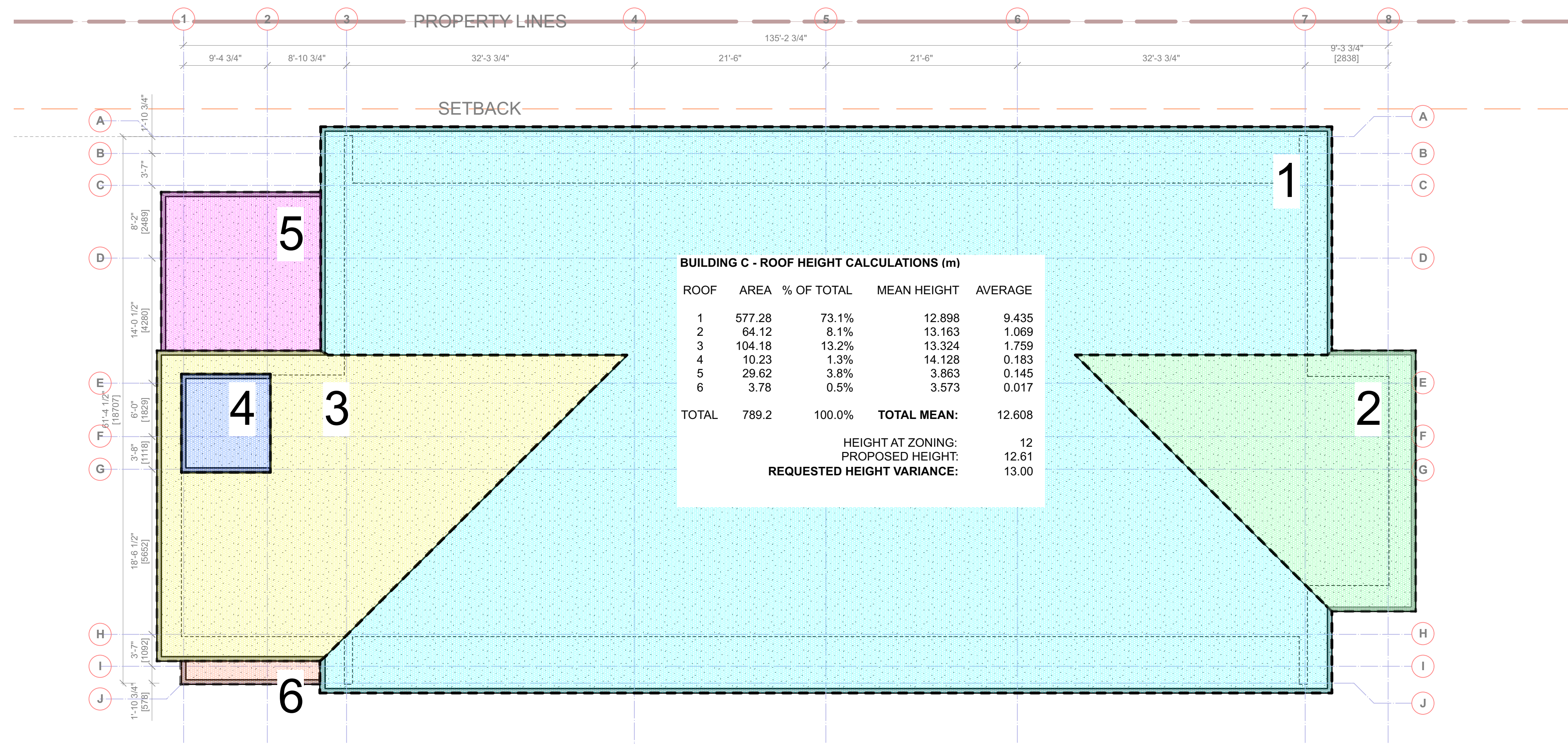
A-2.5 C [R]
BUILDING-C ROOF



1 SOUTH ELEVATION
Scale: 1/8" = 1'-0"

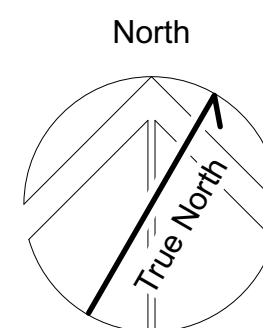


2 WEST ELEVATION
Scale: 1/8" = 1'-0"



3 ROOF DIAGRAM
Scale: 1/8" = 1'-0"

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Sheet Title:
C - ROOF HEIGHT CALCULATIONS
Project
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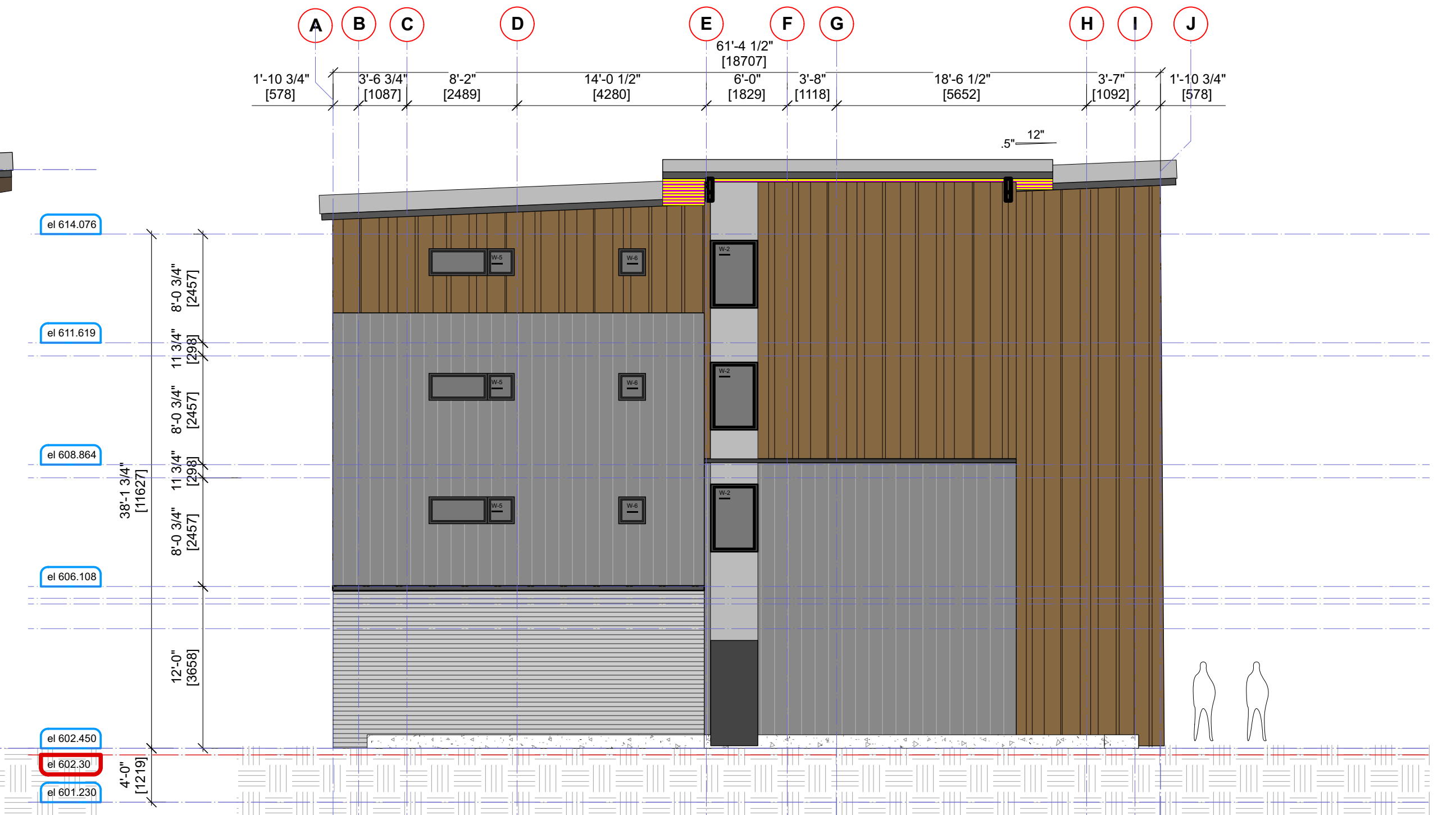
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Project No: _____ Sheet No: _____
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A-2.6 C [R]

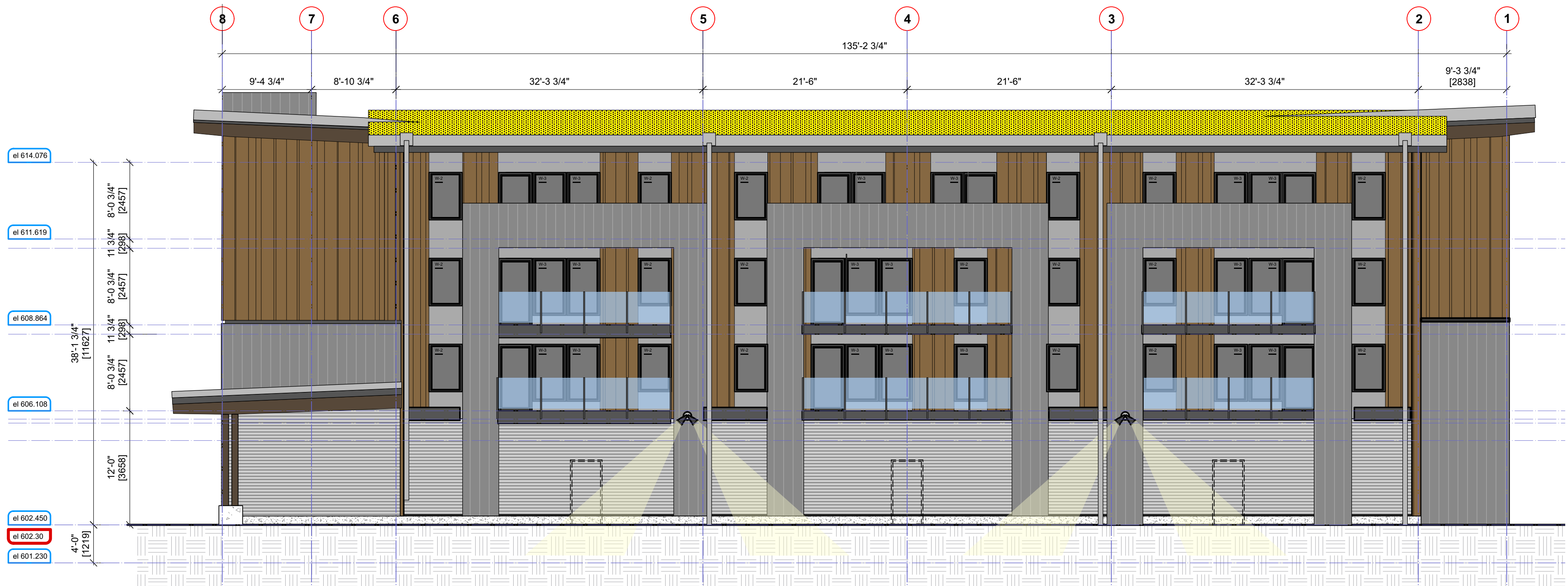
C - ROOF HEIGHT CALCULATIONS



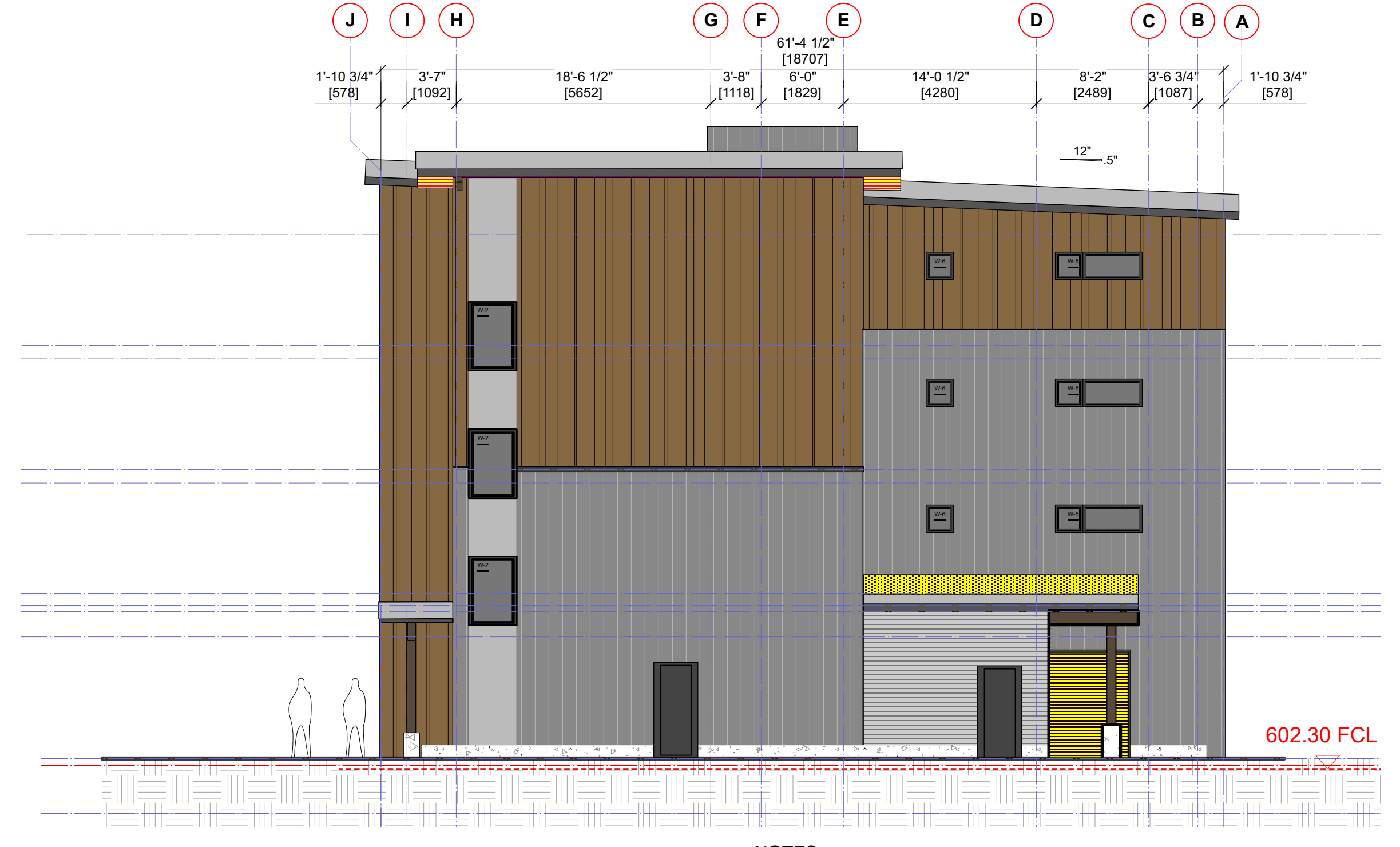
1 SOUTH ELEVATION - BUILDING A
1/8" = 1'0"



2 WEST ELEVATION - BUILDING A
1/8" = 1'0"



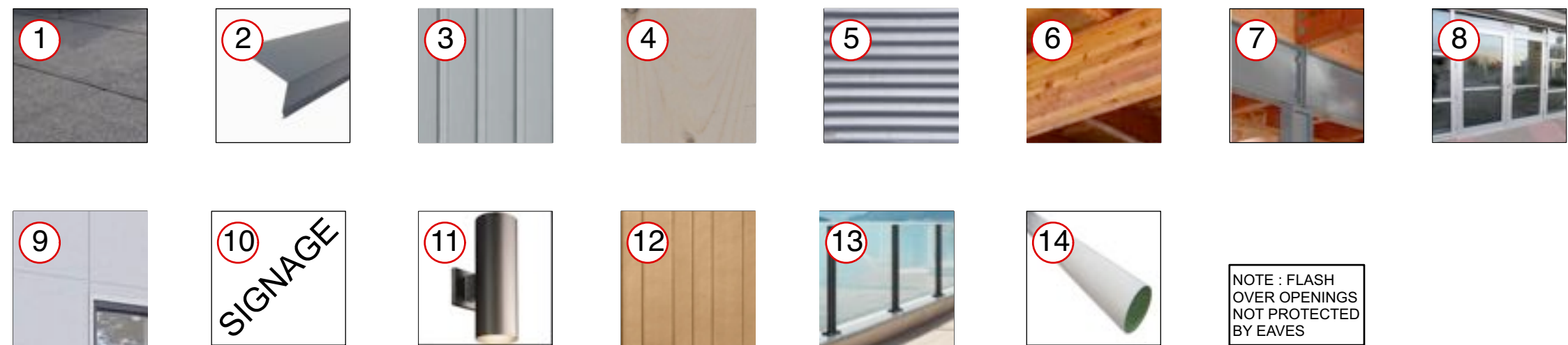
3 NORTH ELEVATION - BUILDING A
1/8" = 1'0" imperial



4 EAST ELEVATION - BUILDING A
1/8" = 1'0" imperial

NOTES:

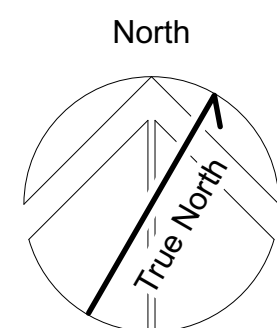
- ▲ - LIGHTING FIXTURES TO BE DOWNWARD DIRECTED AND FULL CUT OFF FULLY SHIELDED. ANY LIMITED ARCHITECTURAL LIGHTING MUST BE FULLY AND PHYSICALLY CUT OFF BY SOFFIT. LIGHTING TO BE CONSISTENT WITH RMOW NIGHT SKY POLICY.
- ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA



EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

- | | | | |
|---------------------------------------|---|--|--|
| 1 TORCH ON ROOFING MEMBRANE | 5 HORIZONTAL CORRUGATED METAL SIDING
PREFINISHED GALVALUM COLOR CONFIRM BY ARCH. | 9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM | 12 HARDIE BOARD - VERTICAL SIDING - LIGHT BROWN |
| 2 PREFINISHED METAL FLASHING | 6 WOOD TRIM / GLULAM STAINED | 10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY
(RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA) | 13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS |
| 3 STANDING SEAM CLADDING - LIGHT GREY | 7 STEEL FABRICATED AWNING - PAINTED | 11 EXTERIOR LIGHTING
(ALL FIXTURE TO BE FULL CUT OFF) | 14 ALUMINUM DOWN PIPES |
| 4 SOFFITING - STAINED SOLID WOOD | 8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS | | |

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Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

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PMG
Project No: 1210 Sheet No: **A-3.1 A [R]**
A - ELEVATIONS

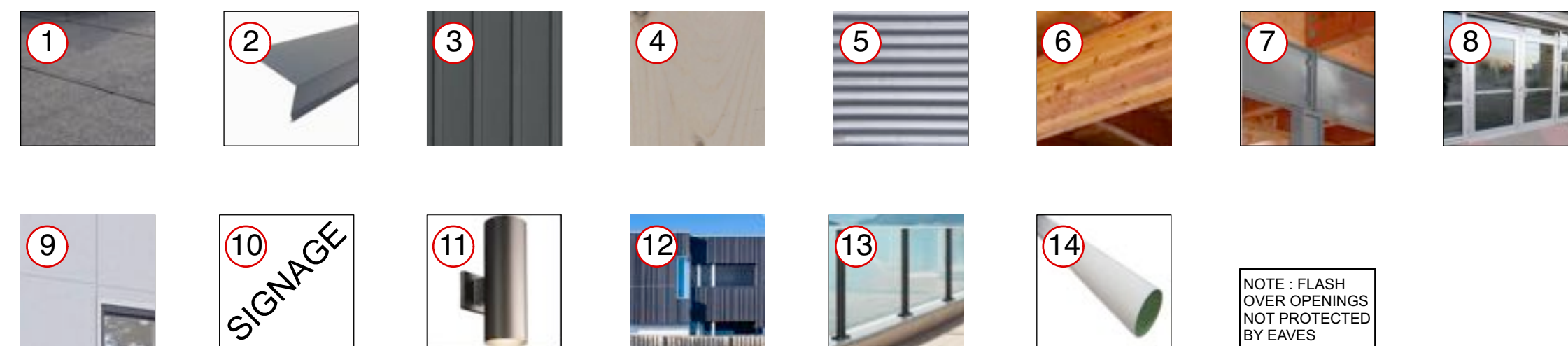


1 NORTH ELEVATION - BUILDING B
1/8" = 1'0"



2 WEST ELEVATION - BUILDING B
1/8" = 1'0"

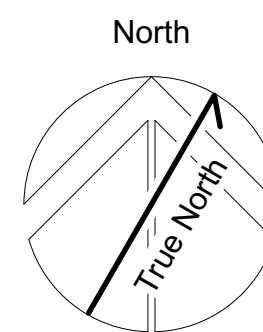
- NOTES:**
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 - ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA



EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

- | | | | |
|----------------------------------|--|---|---|
| 1 TORCH ON ROOFING MEMBRANE | 5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH. | 9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM | 12 HARDIE BOARD AND BATTEN - RANDOM SPACING - DARK GREY |
| 2 PREFINISHED METAL FLASHING | 6 WOOD TRIM / GLULAM STAINED | 10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY (RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA) | 13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS |
| 3 STANDING SEAM CLADDING | 7 STEEL FABRICATED AWNING - PAINTED | 11 EXTERIOR LIGHTING (ALL FIXTURE TO BE FULL CUT OFF) | 14 ALUMINUM DOWN PIPES |
| 4 SOFFITING - STAINED SOLID WOOD | 8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS | | |

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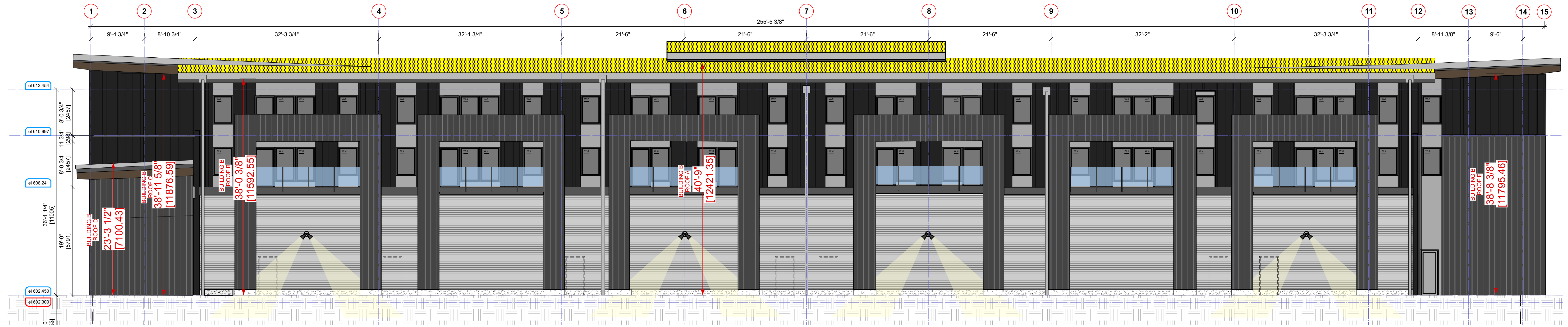
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1000 Alpha Lake Road, Whistler BC

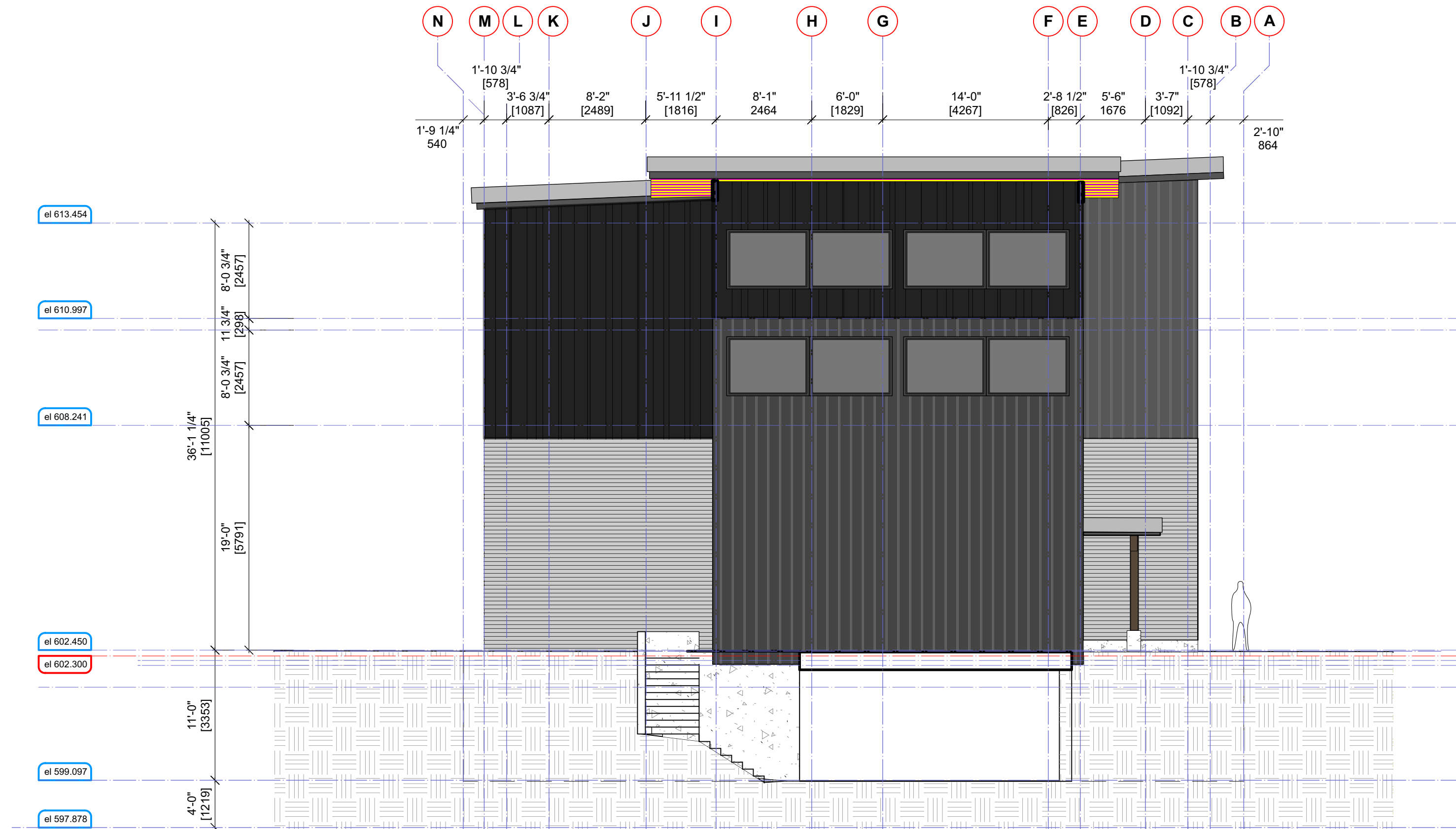
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Project No: 1210 Sheet No: **A-3.1 B [R]**
BUILDING B ELEVATIONS

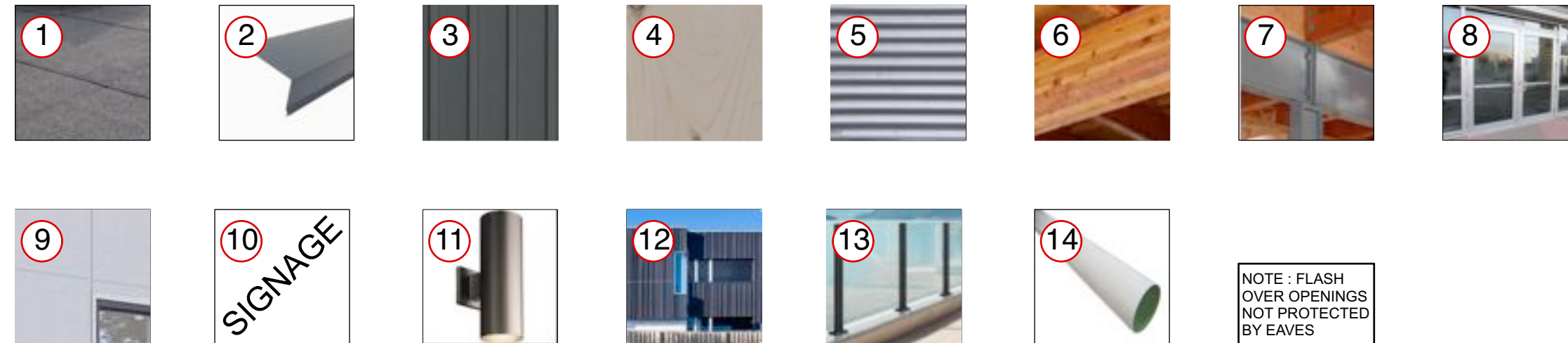


1 SOUTH ELEVATION - BUILDING B
1/8" = 10" imperial



2 EAST ELEVATION - BUILDING B
1/8" = 10" imperial

- NOTES:**
- ▲ - LIGHTING FIXTURES TO BE DOWNWARD DIRECTED AND FULL CUT OFF FULLY SHIELDED. ANY LIMITED ARCHITECTURAL LIGHTING MUST BE FULLY AND PHYSICALLY CUT OFF BY SOFFIT. LIGHTING TO BE CONSISTENT WITH RMOW NIGHT SKY POLICY.
 - ANY EXTERIOR ELECTRICAL CONDUIT SHALL BE HIDDEN IN CONCEALED SOFFIT AND BEHIND FASCIA

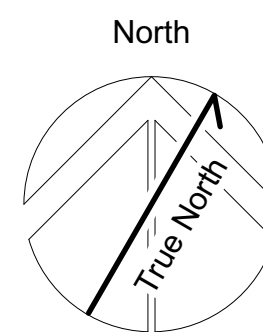


EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

- | | | | |
|----------------------------------|---|--|---|
| 1 TORCH ON ROOFING MEMBRANE | 5 HORIZONTAL CORRUGATED METAL SIDING
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| 2 PREFINISHED METAL FLASHING | 6 WOOD TRIM / GLULAM STAINED | 10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY
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| 3 STANDING SEAM CLADDING | 7 STEEL FABRICATED AWNING - PAINTED | 11 EXTERIOR LIGHTING
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| 4 SOFFITING - STAINED SOLID WOOD | 8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS | | |

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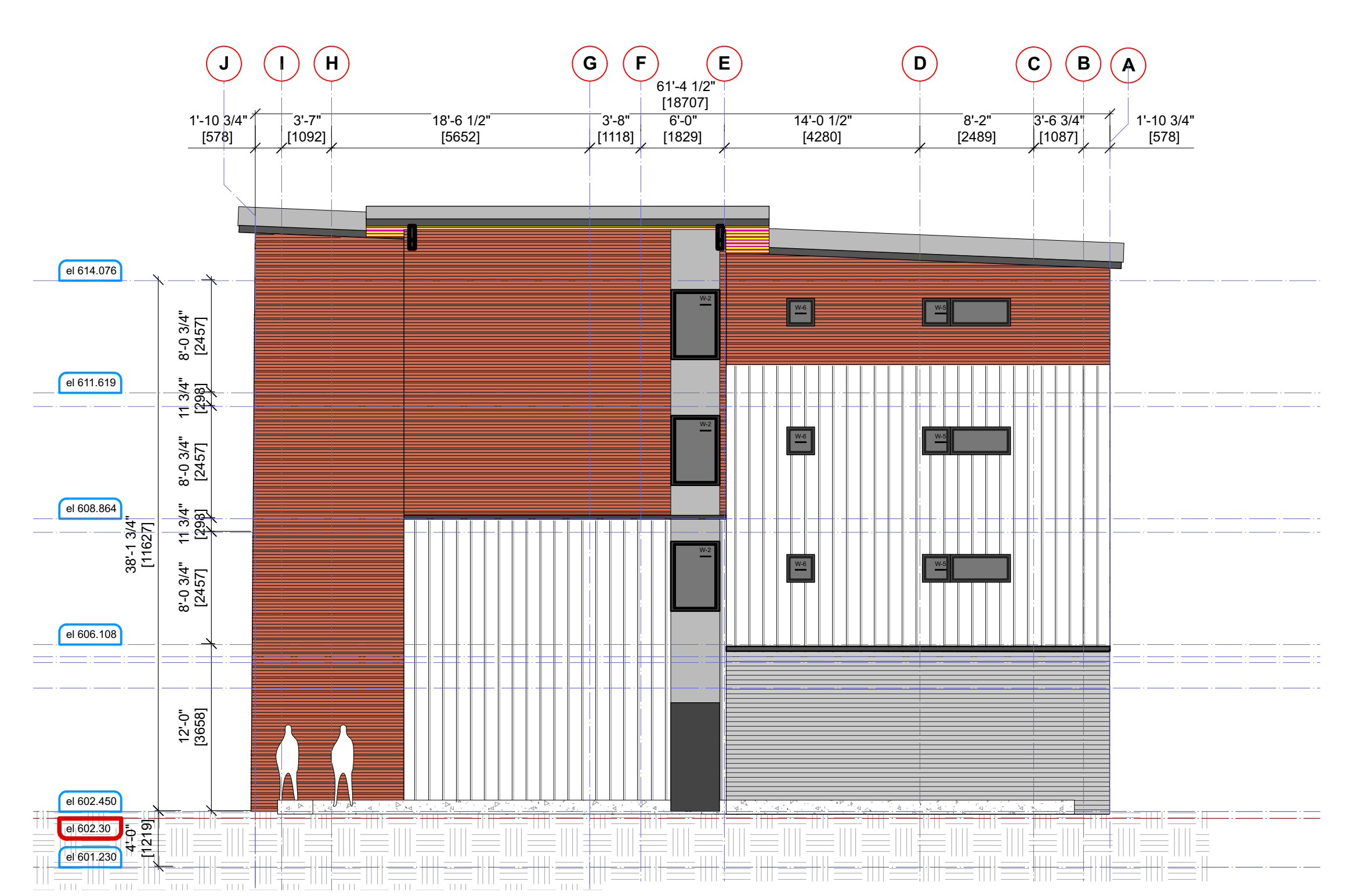
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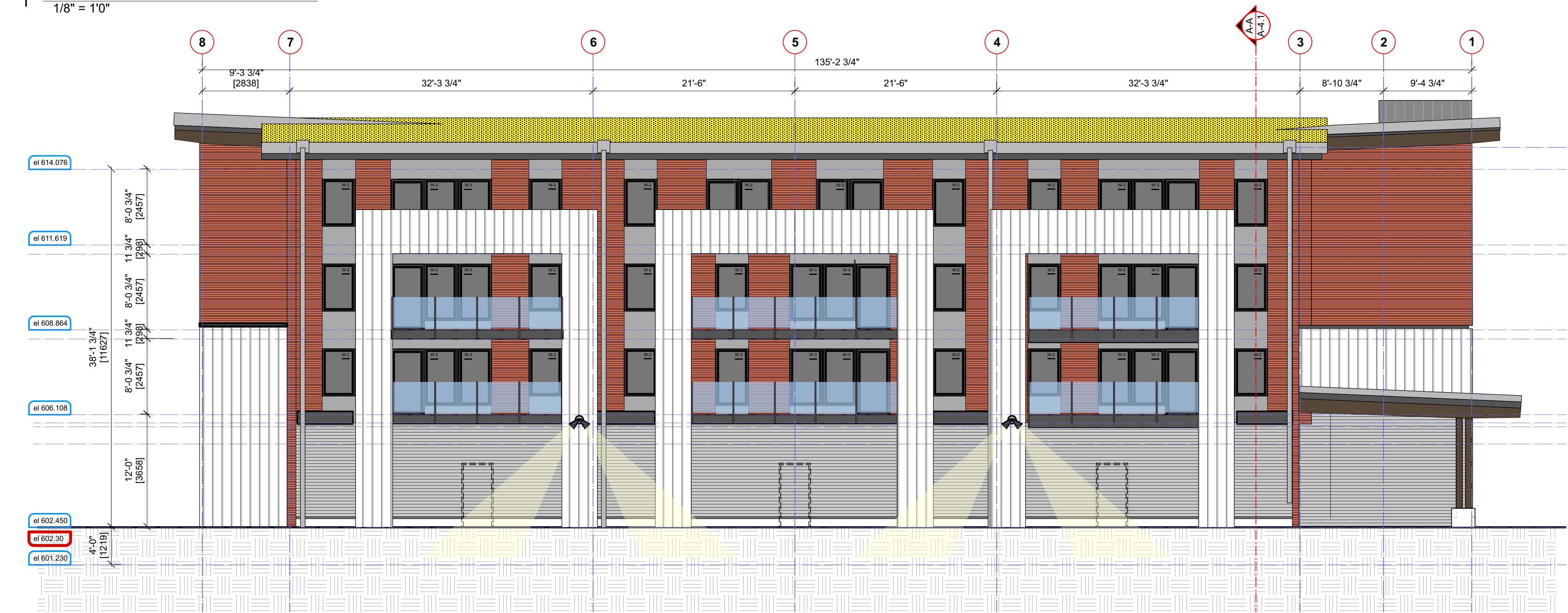
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BM/DA
Project No: 1210 Sheet No: **A-3.2 B [R]**
BUILDING B ELEVATIONS



1 SOUTH ELEVATION - BUILDING C
1/8" = 10"



1 EAST ELEVATION - BUILDING C
1/8" = 10"

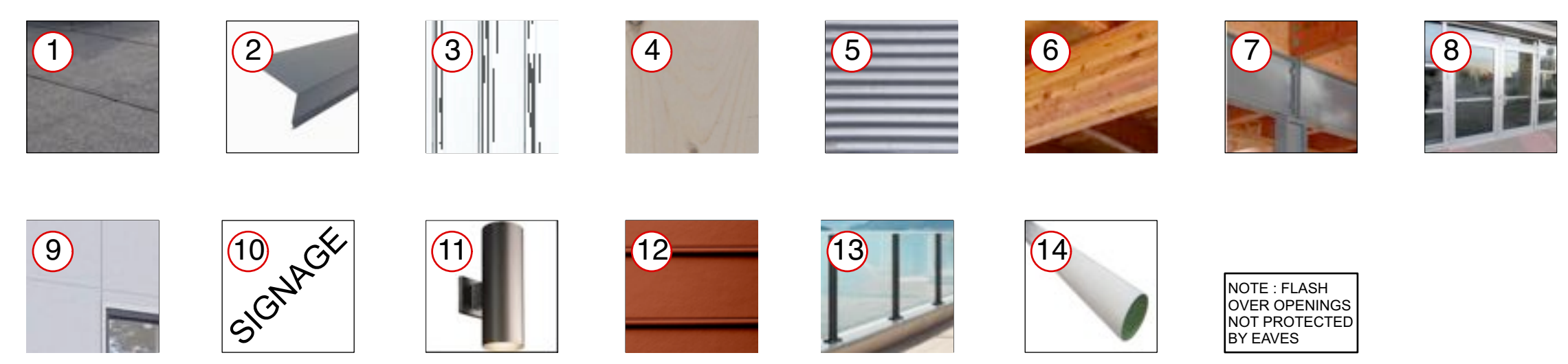


2 NORTH ELEVATION - BUILDING C
1/8" = 10" imperial



2 WEST ELEVATION - BUILDING C
1/8" = 10" imperial

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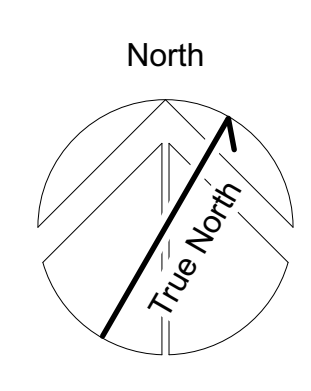


EXTERIOR FINISHES LEGEND / MATERIAL BOARD
TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS

1 TORCH ON ROOFING MEMBRANE	5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM	12 HARDIE BOARD - BEADED SMOOTH - LIGHT RED
2 PREFINISHED METAL FLASHING	6 WOOD TRIM / GLULAM STAINED	10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY (RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)	13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
3 STANDING SEAM CLADDING - WHITE	7 STEEL FABRICATED AWNING - PAINTED	11 EXTERIOR LIGHTING (ALL FIXTURE TO BE FULL CUT OFF)	14 ALUMINUM DOWN PIPES
4 SOFFITING - STAINED SOLID WOOD	8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS		

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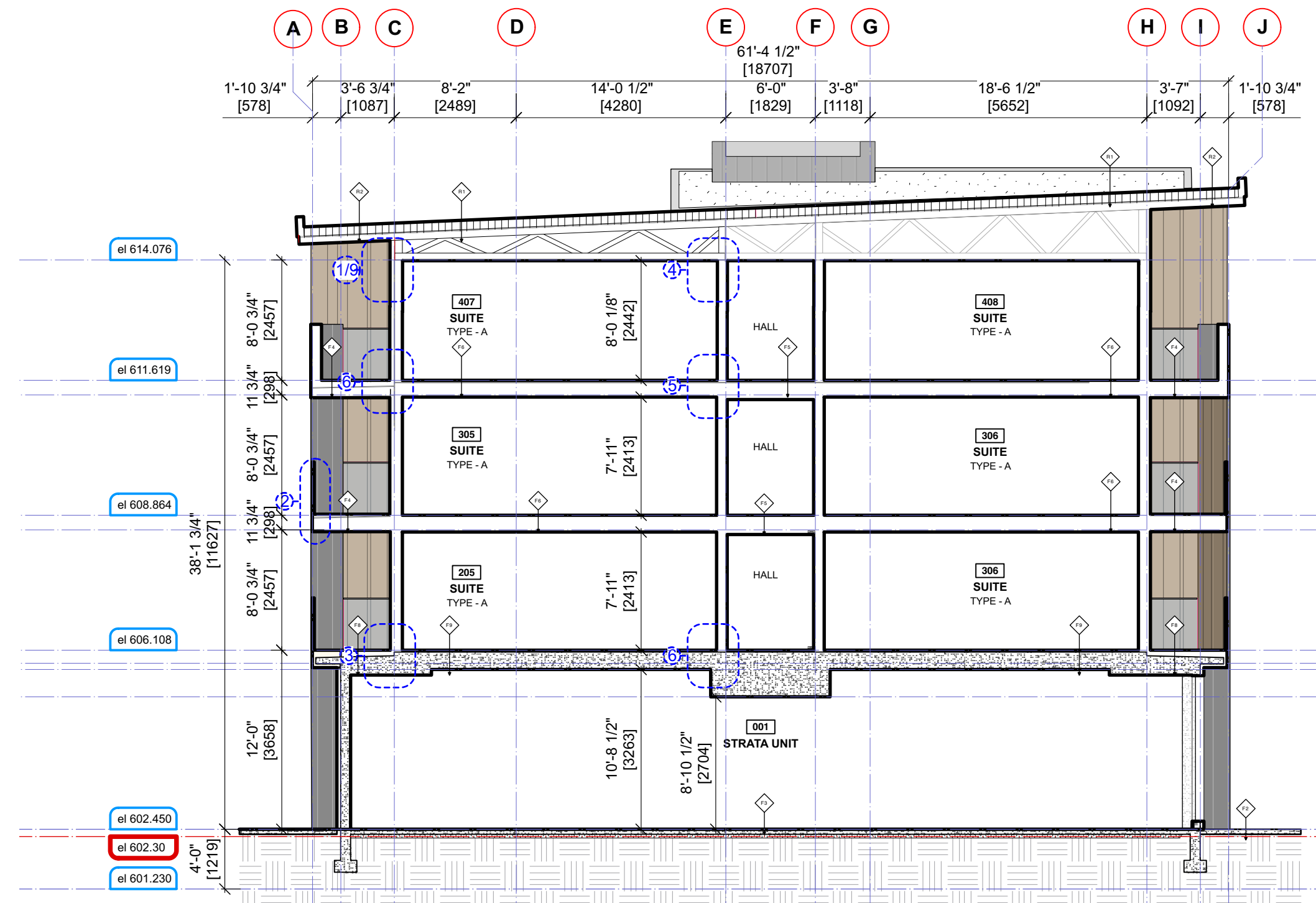
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BUILDING-C ELEVATIONS
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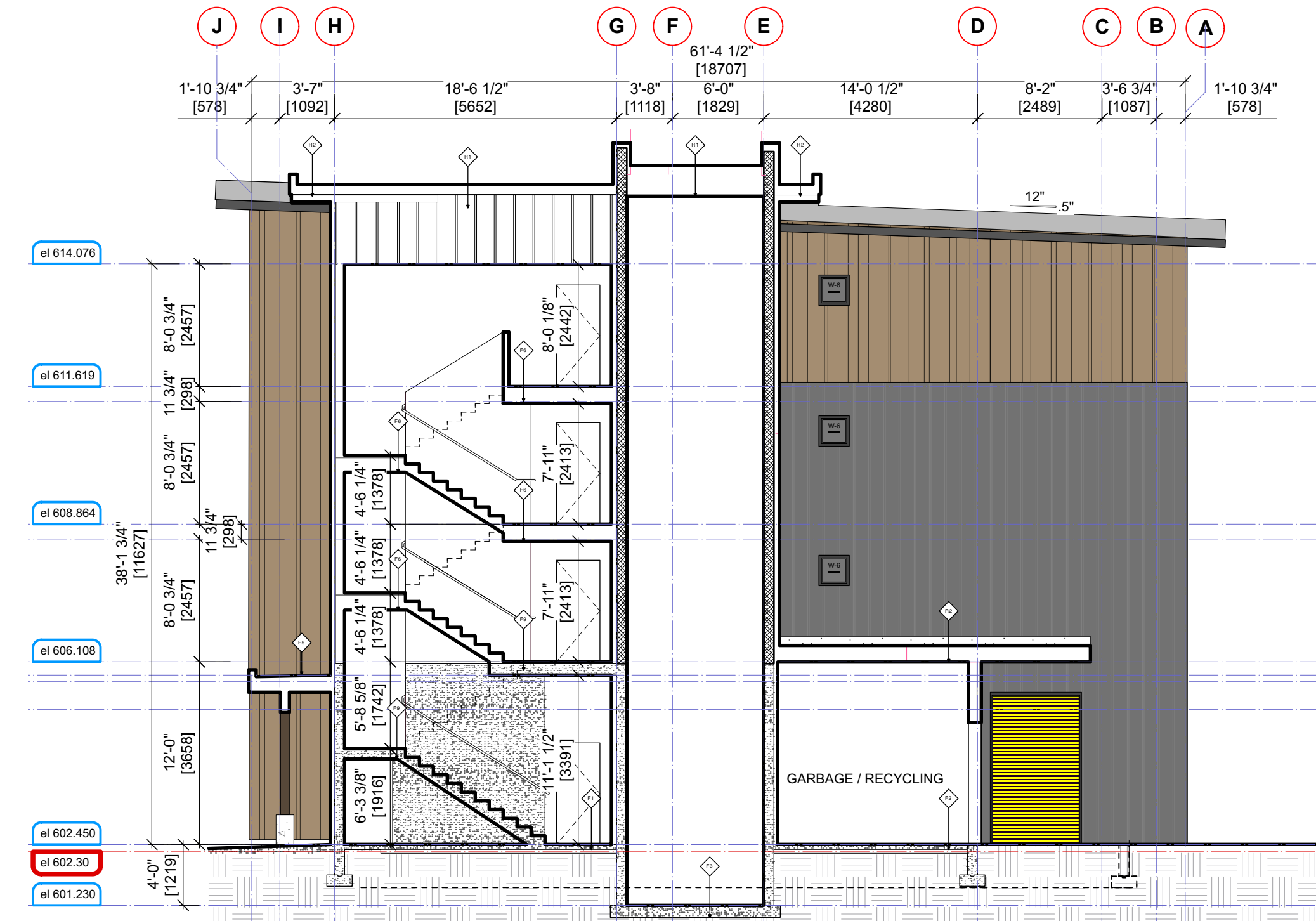
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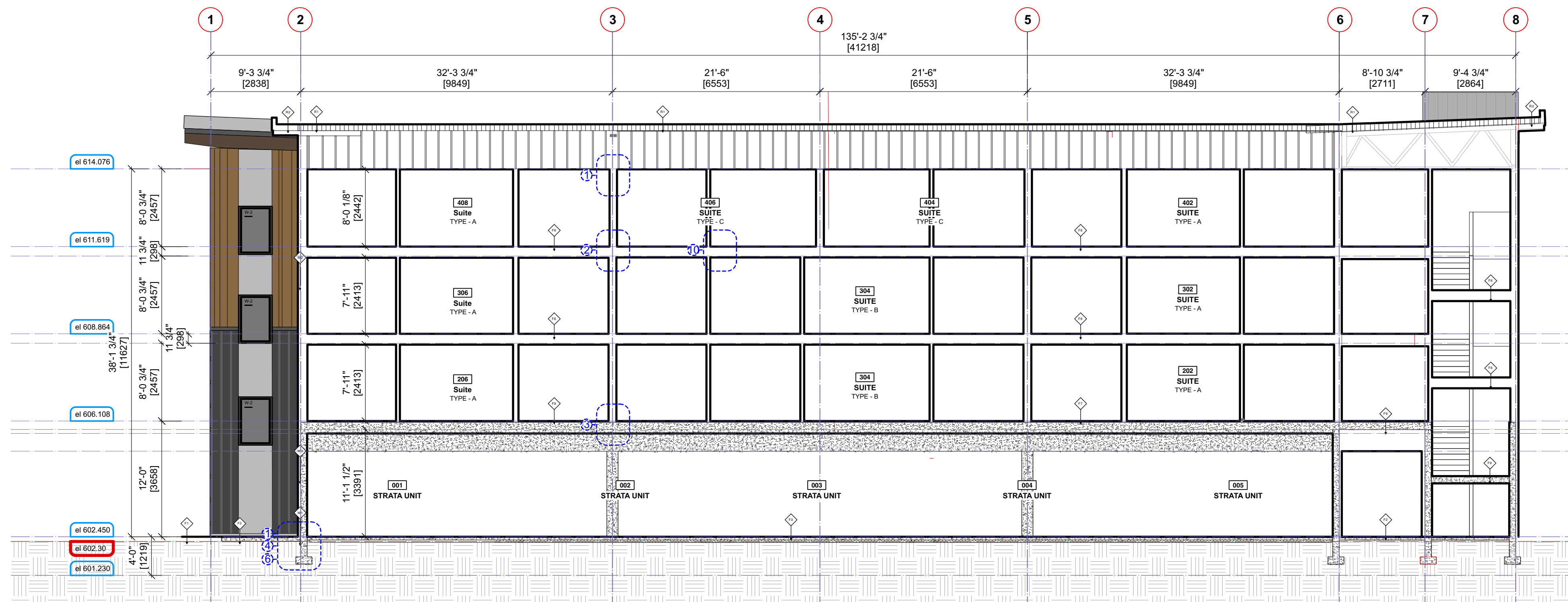
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 BM/DA
 Project No: 1210 Sheet No: **A-3.1 C [R]**
 BUILDING-C ELEVATIONS



1 SECTION 1 - BUILDING A
1/8" = 1'0" imperial

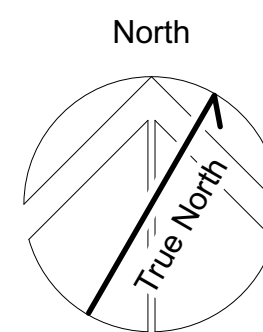


2 SECTION 2 - BUILDING A
1/8" = 1'0" imperial



3 SECTION 3 - BUILDING A
1/8" = 1'0" imperial

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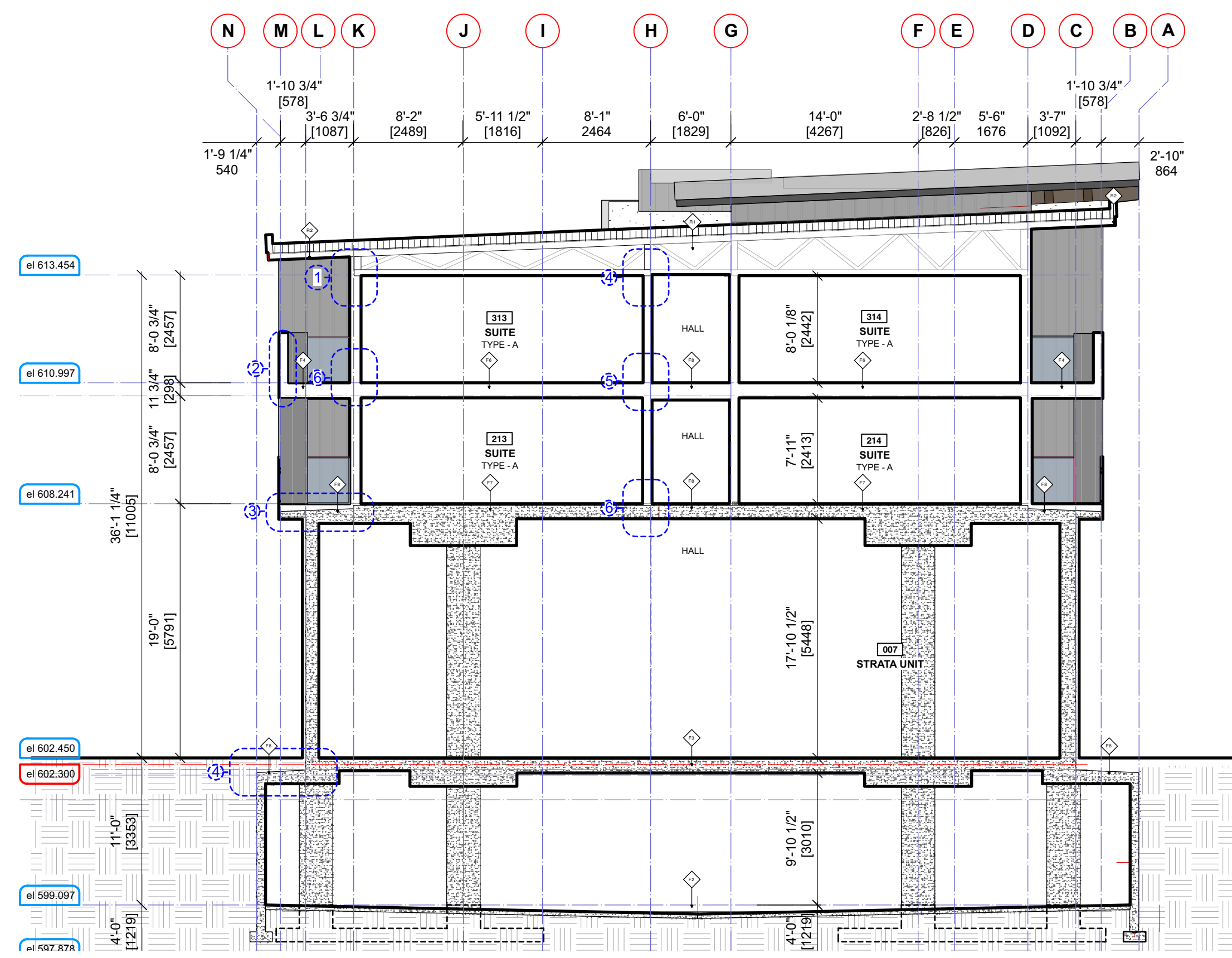
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1000 Alpha Lake Road, Whistler BC

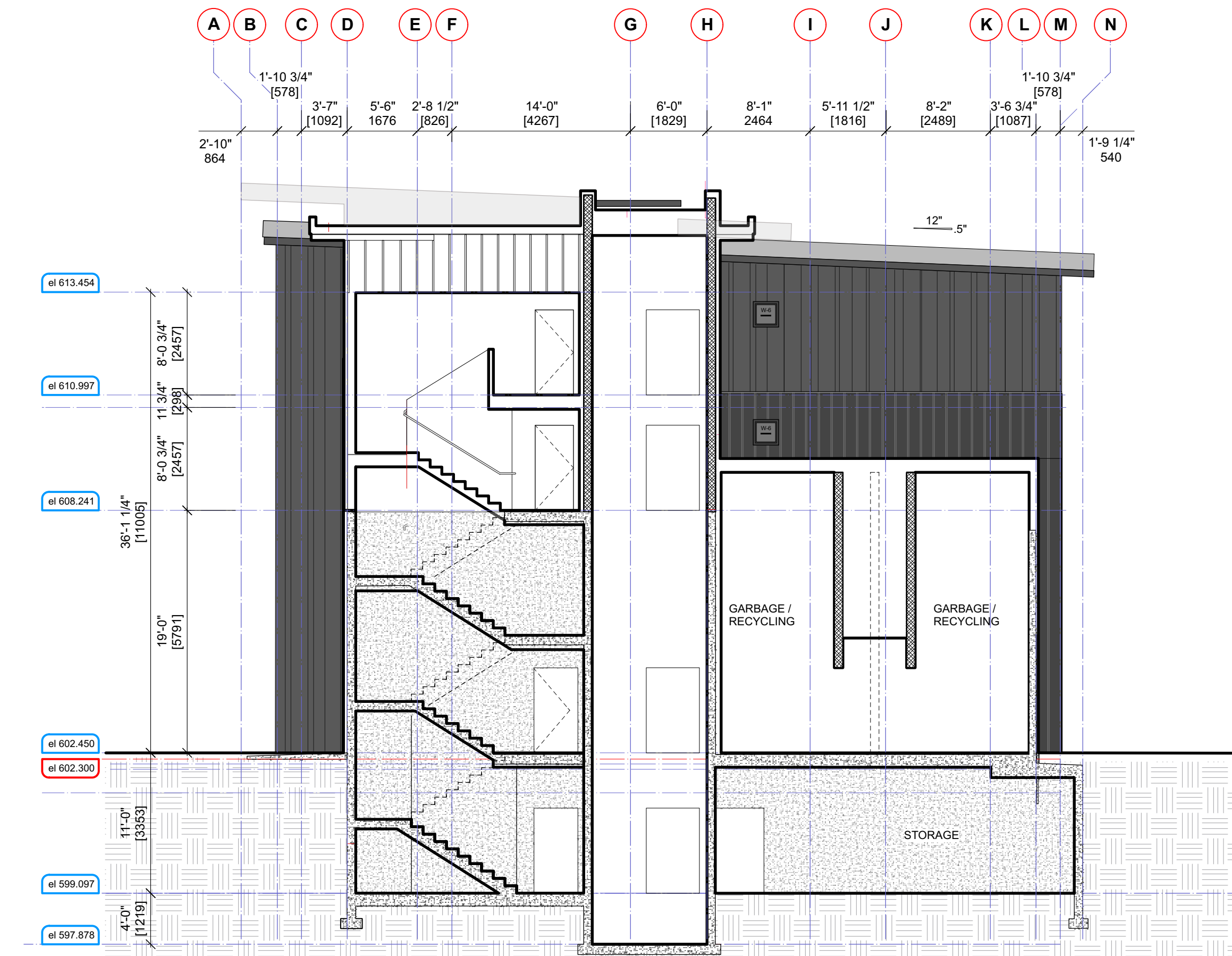
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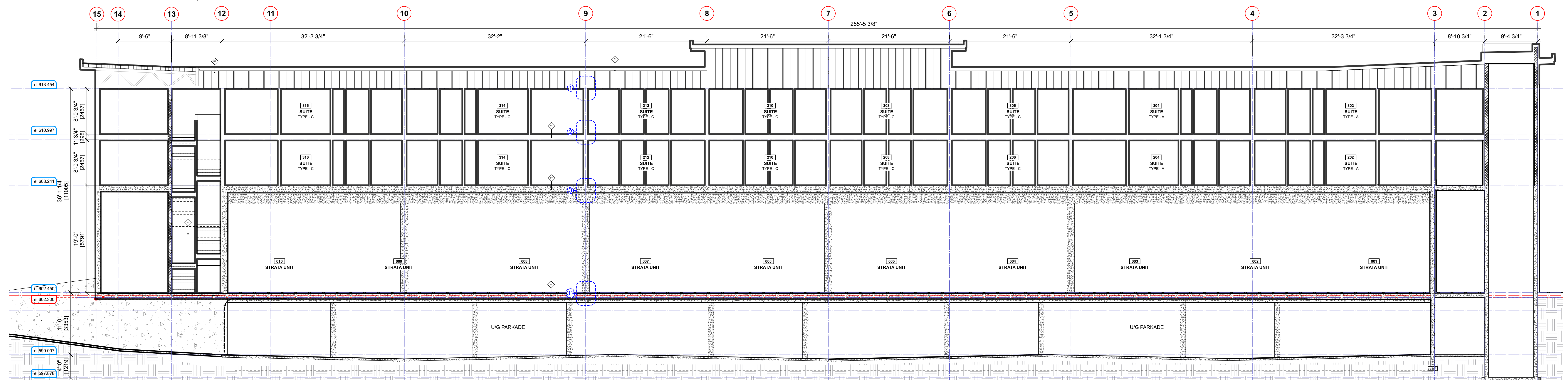
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Project No: 1210 Sheet No: A-4.1 A [R]



1 SECTION 1 - BUILDING B
1/8" = 1'0" imperial

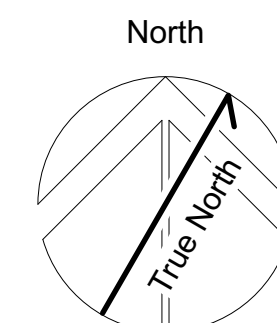


2 SECTION 2 - BUILDING B
1/8" = 1'0" imperial



3 SECTION 3 - BUILDING B
1/8" = 1'0" imperial

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Issued For: _____ Date: _____
CONSOLIDATED DP SUBMISSION MAR. 20, 2024

Sheet Title:
BUILDING-B SECTIONS
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:

Sealed By: _____

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Project No: 1210 Sheet No: _____

A-4.2 B [R]

BUILDING-B SECTIONS

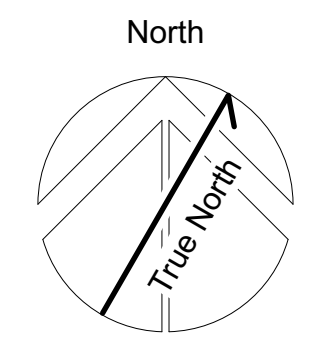


NOTE : FLASH OVER OPENINGS NOT PROTECTED BY EAVES

EXTERIOR FINISHES LEGEND / MATERIAL BOARD TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS	
1 TORCH ON ROOFING MEMBRANE	9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM
2 PREFINISHED METAL FLASHING	10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY (FROM SIGNAGE BYLAW APPLIES MAX LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)
3 STANDING SEAM CLADDING - LIGHT GREY	11 EXTERIOR LIGHTING (ALL FIXTURE TO BE FULL CUT OFF)
4 SOFFITING - WOODTONE IRISH CREAM (TO CONFIRM COLOUR W/ARCH)	12 HARDIE BOARD - VERTICAL SIDING - LIGHT BROWN
5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
6 WOOD TRIM / GLULAM STAINED	14 ALUMINUM DOWN PIPES
7 STEEL FABRICATED AWNING - PAINTED	
8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS	

1 EAST ELEVATION - BUILDING A
3/8" = 1'0"

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Issued For: _____ Date: _____
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Sheet Title:
MATERIAL BOARD
Project
Tseqwtsúqum, Function Junction
1000 Alpha Lake Road, Whistler BC

No.	Revision:	Date:

Sealed By: _____

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Project No: _____ Sheet No: _____
1210 **A-5.1 A [R]**
MATERIAL BOARD

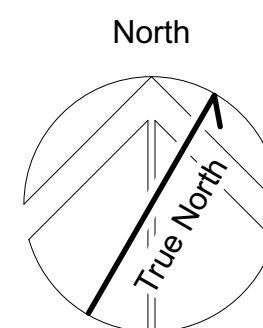


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EXTERIOR FINISHES LEGEND / MATERIAL BOARD TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS	
1 TORCH ON ROOFING MEMBRANE	9 FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM
2 PREFINISHED METAL FLASHING	10 COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY <i>(R/W SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)</i>
3 STANDING SEAM CLADDING	11 EXTERIOR LIGHTING <i>(ALL FIXTURE TO BE FULL CUT OFF)</i>
4 SOFFITING - WOODTONE IRISH CREAM (TO CONFIRM COLOUR W/ARCH)	12 HARDIE BOARD AND BATTEN - RANDOM SPACING - DARK GREY
5 HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	13 PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
6 WOOD TRIM / GLULAM STAINED	14 ALUMINUM DOWN PIPES
7 STEEL FABRICATED AWNING - PAINTED	
8 ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS	

1 EAST ELEVATION - BUILDING A
3/8" = 1'0"

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Sheet No: _____

1210

A-5.1 B [R]

MATERIAL BOARD

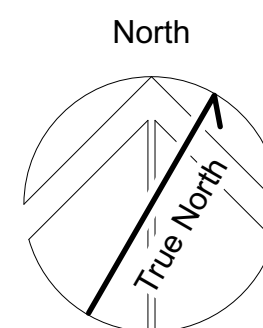


NOTE : FLASH OVER OPENINGS NOT PROTECTED BY EAVES

EXTERIOR FINISHES LEGEND / MATERIAL BOARD TO BE READ IN CONJUNCTION WITH DETAILS & ELEVATIONS	
① TORCH ON ROOFING MEMBRANE	⑨ FIBER CEMENT (HARDIE) PANNEL WITH C/W TRIM
② PREFINISHED METAL FLASHING	⑩ COMPANY LOGO / SIGNAGE ATTACHED TO STEEL CANOPY <small>(RMOW SIGNAGE BYLAW APPLIES. MAX. LETTER HT. 12" & ARCHITECTURAL SIGNAGE TO HAVE ALL CONDUITS CONCEALED BEHIND FASCIA)</small>
③ STANDING SEAM CLADDING - WHITE	⑪ EXTERIOR LIGHTING <small>(ALL FIXTURE TO BE FULL CUT OFF)</small>
④ SOFFITING - WOODTONE IRISH CREAM (TO CONFIRM COLOUR W/ARCH)	⑫ HARDIE BOARD - BEADED SMOOTH - LIGHT RED
⑤ HORIZONTAL CORRUGATED METAL SIDING PREFINISHED GALVALUM COLOR CONFIRM BY ARCH.	⑬ PREFINISHED ALUMIN GUARDRAILS W/ TEMPERED GLASS
⑥ WOOD TRIM / GLULAM STAINED	⑭ ALUMINUM DOWN PIPES
⑦ STEEL FABRICATED AWNING - PAINTED	
⑧ ANODIZED ALUMINIUM STORE FRONT WINDOWS AND DOORS	

1 EAST ELEVATION - BUILDING A
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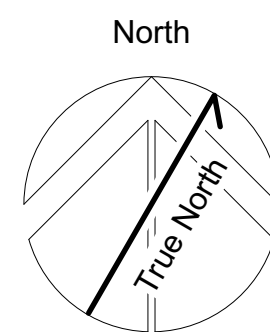
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A-5.1 C [R]

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Sheet Title:
RENDERINGS
 Project
Tseqwtsúqum, Function Junction
 1000 Alpha Lake Road, Whistler BC

No:	Revision:	Date:

Sealed By: _____

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Sheet No: _____

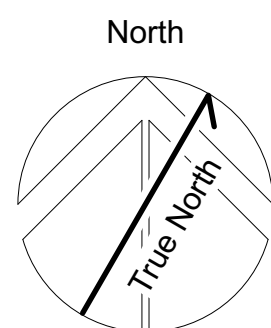
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A-9.1 [R]

RENDERINGS



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RENDERINGS
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No:	Revision:	Date:

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Project No: _____ Sheet No: _____

1210

A-9.2 {R}

RENDERINGS

Existing DP1337 - Sheet Title	ACTION	New DP1961 - Sheet Title all new and replaced sheets dated "CONSOLIDATED DP SUBMISSION MAR 20, 2024", all prepared by Murdoch Company Architecture + Planning Ltd
A-1.0 Lot 1/Lot 2 Illustrative Site Plan A-1.1 Lot 1/Lot 2 Snow Storage TP-1 Tree Preservation / Highway Buffer	ADDED replaced with replaced with replaced with ADDED	A-0.0[R] COVER SHEET, Site Location & Context A-1.0[R] Site Plan (Combined Lots 1 & 2) A-1.1[R] Snow Storage Plan TP-1[R] Tree Preservation Plan F-1.0[R] Lot 2 Site Plan - Firesmart
L-1.1 Lot 1 Service Station Site Plan L-1.2 Lot 1 Service Station Landscape Plan L-2.1 Lot 2 Site Grading L-2.2 Lot 2 Landscape Plan	unchanged unchanged replaced replaced ADDED ADDED	L-2.1[R] LOT 2 Site Grading Plan L-2.2[R] LOT 2 Landscape Planting Plan L-2.3[R] LOT 2 Parking Plan L-2.4[R] LOT 2 Site Lighting Plan
Service Station Cover	ALL SERVICE STATION UNCHANGED	
A-1.01 Lot 1 Service Station Arch Site Plan A-1.02 Lot 1 Service Station Plan A-2.00 Service Station Plan A-2.01 Service Station Plan A-2.07 Lot 1 Service Station Roof Plan A-2.08 Lot 1 Service Station Canopy Plan A-2.09 Lot 1 Service Station Canopy Plans A-3.01 Lot 1 Service Station Elevations A-3.02 Lot 1 Service Station Elevations A-3.03 Fuel Canopy Elevations/Sections	unchanged unchanged unchanged unchanged unchanged unchanged unchanged unchanged unchanged unchanged	
Service Station Cover	ALL SERVICE STATION UNCHANGED	
A-2.1(A) Building A Ground Floor Plan A-2.2(A) Building A Second Floor Plan A-2.3(A) Building A Third Floor Plan A-2.4(A) Building A Fourth Floor Plan A-2.5(A) Building A Roof Plan	ADDED replaced with replaced with replaced with replaced with replaced with ADDED	<i>PLANS</i> A-2.0 A[R] Building A - Municipal GFA A-2.1 A[R] Building A - Ground Floor Plan A-2.2 A[R] Building A - Second Floor Plan A-2.3 A[R] Building A - Third Floor Plan A-2.4 A[R] Building A - Fourth Floor Plan A-2.5 A[R] Building A - Roof Plan A-2.6 A[R] Building A - Roof Height Calculations
A-2.0(B) Building B Underground Parkade	ADDED	A-2.00 B [R] Building B - Municipal GFA
A-2.1(B) Building B Ground Floor	replaced with	A-2.0 B [R] Building B - Foundation/Underground Parking
A-2.2(B) Building B Second Floor	replaced with	A-2.1 B [R] Building B - Ground Floor Plan
A-2.3(B) Building B Third Floor	replaced with	A-2.2 B [R] Building B - Second Floor Plan
A-2.4(B) Building B Roof Plan	replaced with	A-2.3 B [R] Building B - Third Floor Plan
	ADDED	A-2.4 B [R] Building B - Roof Plan
	ADDED	A-2.5 B [R] Building B - Roof Height Calculations
A-2.1(C) Building C Ground Floor	ADDED	A-2.0 C [R] Building C - Municipal GFA
A-2.2(C) Building C Second Floor	replaced with	A-2.0 C [R] Building C - Foundation/Underground Parking
A-2.3(C) Building C Roof	replaced with	A-2.1 C [R] Building C - Ground Floor Plan
	ADDED	A-2.2 C [R] Building C - Second Floor Plan
	ADDED	A-2.3 C [R] Building C - Third Floor Plan
	ADDED	A-2.4 C [R] Building C - Fourth Floor Plan
	ADDED	A-2.5 C [R] Building C - Roof Plan
	ADDED	A-2.6 C [R] Building C - Roof Height Calculations
ELEVATIONS		
A-3.1(A) Building A Elevations	replaced with	A-3.1 A [R] Building A - Elevations
	ADDED	A-3.1 B [R] Building B - Elevations
A-3.2(B) Building B Elevations	replaced with	A-3.2 B [R] Building B - Elevations
A-3.1(C) Building C Elevations	replaced with	A-3.1 C [R] Building C - Elevations
SECTIONS		
A-4.1(A) Building A Sections	replaced with	A-4.1 A [R] Building A - Sections
A-4.2(B) Building B Sections	replaced with	A-4.2 B [R] Building B - Sections
A-4.3(C) Building C Sections	replaced with	A-4.3 C [R] Building C - Sections
MATERIALS		
	ADDED	A-5.1 A [R] Building A - Material Board
	ADDED	A-5.1 B [R] Building B - Material Board
	ADDED	A-5.1 C [R] Building C - Material Board
	ADDED	A-8.1[R] Building Unit Plans
RENDERINGS		
	ADDED	A-9.1 [R] Renderings
	ADDED	A-9.2 [R] Renderings
SERVICE STATION SIGN PLANS 1-5	ALL UNCHANGED	
CIVIL PLANS Cover and 1-14	ALL UNCHANGED	

COMMERCIAL/INDUSTRIAL (SCHEDULE O)

The DP area is designated for the establishment of objectives for the form and character of commercial and mixed commercial/industrial *development*. The following table shows the applicable guidelines for this application and offers details to indicate how the proposal complies.

SITE PLANNING BUILDING DESIGN

(a) Position buildings on the site to create a defined street edge common to attractive commercial areas.	Consistent
(b) Mass and scale of <i>development</i> should fit with the surrounding neighbourhood character and mountain resort community character.	Consistent
(c) Minimize the overall mass appearance of any one building.	Consistent

BUILDING DESIGN

(a) Building articulation and innovative and interesting façade treatments, consistent with the resort community character, are strongly encouraged to create identifiable, attractive commercial/industrial areas. For example:	Consistent
(i) Use of a variety of colours, architectural features and building materials. Large areas of glass and singular materials are strongly discouraged.	The proposed Building C is a duplicate of the approved Building A (with minor changes of the exterior). All of the buildings offer a variety of features and materials and avoid large areas of glass or singular materials.
(ii) Use of building colours complementary to neighbouring buildings or identifiable with the area. Colours should be muted and consist of natural colours found in the Whistler setting. Limited use of complementary accent colours for focal points, doors and storefronts is encouraged.	Consistent, colours are muted and coordinated on the site.
(iii) Entrances to buildings should be clearly identifiable from sidewalks and other public areas.	Consistent
(iv) Integrate balcony and terrace areas as appropriate to building uses.	Consistent
(b) Building materials should be consistent with the mountain character, sufficiently durable to withstand Whistler's harsh climate, and consistent with the intended use of the building	Consistent
(c) Roof form should be modulated and of a mountain character to reduce the apparent bulk of a building. Deep roof overhangs are encouraged. Whistler's extreme freeze/thaw cycle and frequent large accumulations of snow are to be considered in design and material selection. Protect all pedestrian and vehicle access points from snow shed and ice accumulation.	Consistent.
(d) Roof colour should be generally neutral or muted in order to blend with the colours of the natural landscape.	Consistent. The roof of Building C is torch on in a grey colour.
(e) Roof designs which incorporate evolving technology and best practices for stormwater management and energy systems are encouraged within the context of other building design guidelines.	Consistent. The updated development plans have included a request for a minor height variance in part to accommodate a 'thicker' roof package that has higher energy performance.

<p>(f) Roof mounted equipment should be integrated with the overall roof design and adequately screened so it is concealed to the greatest extent possible from pedestrian viewpoints.</p>	<p>Not applicable. Roof mounted equipment is not proposed.</p>
<p>(g) Site and building design should address the functional needs of persons with disabilities, including those who are mobility, visually and hearing impaired, and/or have reduced strength or dexterity. Provide accessible routes from the street and parking to building entrances in all seasons, and at an appropriate width for expected pedestrian volumes. Consideration should be given to snow clearing and snow storage areas.</p>	<p>Consistent. The sidewalk was widened where possible, and accessible routes are provided to each building from accessible parking spaces.</p>
<p>(h) Trail connections should be maintained and strengthened. The municipality may accept or encourage the dedication of public trails to promote pedestrian movement.</p>	<p>Not applicable. The revised development proposal does not impact the connectivity of the site to the Valley Trail or other trails.</p>

ACCESS, PARKING AND WASTE FACILITIES

<p>(a) Shared parking facilities and shared access points are encouraged to reduce the amount of curb-cuts, and allow for efficient traffic circulation and utilization of parking supply.</p>	<p>Consistent.</p>
<p>(b) Locate parking areas to minimize the visual impact of parking from the street. All surface parking areas should be screened by a combination of landscaping and berms.</p>	<p>Consistent. The addition of new employee housing increased the parking requirement, but additional landscaping and streetscaping has been added.</p>
<p>(c) Provide adequate space to accommodate snow storage and drainage from parking areas.</p>	<p>Consistent</p>
<p>(d) Locate all accessible parking spaces as close as possible to building entrances.</p>	<p>Consistent. Accessible parking is in close proximity to the entrance to each building.</p>
<p>(e) Provide adequate bicycle parking facilities on-site and within buildings where appropriate.</p>	<p>Exterior bicycle parking is shown at each building.</p>
<p>(f) Service bays and solid waste storage should be integrated with site and building design, contained within the building or suitably screened from the street and public areas, and adequately sized to meet the needs of uses on site.</p>	<p>Consistent. The applicant has provided a Solid Waste Management Plan that is consistent with the Solid Waste Bylaw, and with this guideline.</p>

EXTERIOR LIGHTING

<p>(a) Outdoor lighting should be used for safe pedestrian passage and property identification firstly. Seasonal festive lighting and limited architectural and landscape feature lighting is permitted.</p>	<p>Consistent. The applicant has provided a Lighting Plan that shows lighting consistent with the guidelines.</p>
<p>(b) Illumination levels should be of sufficient intensity to provide safe pedestrian mobility but not overpower the nightscape. Use warm lighting. Coloured lighting is restricted to seasonal festive lighting and public amenities.</p>	<p>Consistent. See above.</p>
<p>(c) Direct light downward by choosing the correct type of light fixture. Acceptable fixtures are full cut-off and fully shielded fixtures that shield the light source to reduce glare.</p>	<p>Consistent. See above.</p>

SIGNAGE

<p>(a) Signage programs should be integrated in design and coordinated with the architectural features of the building and character of the area.</p>	<p>Not applicable. The revised proposal does not impact the signage on the site. Preparation and review of the signage plan by the GM – CAPDS remains a condition of the current</p>
---	---

	DP, and is required prior to issuance of any sign permits.
(b) The size, number and placement of signs pertaining to a <i>development</i> should ensure a hierarchy of signage. Within this hierarchy, there should be a balance between consistency and individual creativity. Consistency may come in the location, size and materials of signage and lighting to create a rhythm; creativity may come in the shape, colour, materials and individual mounting brackets to create interest and individual business expression. Signs that visually exhibit or express the character of their site or business enterprise to which they pertain are encouraged.	Not applicable. See above.
(c) All sign materials and mounting brackets should be high quality, textured and durable. Raised or recessed letters or symbols are strongly encouraged. Lighting fixtures should be quality, unobtrusive fixtures and related electrical conduits should be concealed behind fascia.	Not applicable. See above.
(d) Signs may support intense colour applications, but should be harmonious with the colour scheme of the building with which they are associated.	Not applicable. See above.
(e) All signage must also meet the requirements of the Sign Bylaw, except that the bylaw requirements may be varied to authorize signs that are demonstrated to better achieve the overall objectives of these form and character guidelines.	Not applicable. See above.

FENCING

(a) Fencing is generally discouraged but may be used where necessary, along with vegetative planting, to limit public access to utilities or dangerous areas.	Not applicable. The proposed revised development proposal does not impact the fencing on the site.
(b) Fence design should be appropriate to its function, location and context in the neighbourhood. Fences should be of a high quality, reflecting and extending the building details and integrated with landscaping to minimize their visual impact.	Not applicable. See above.
(c) Chain link fencing where utilized should be screened such that the fencing is not visible from pedestrian areas, a street or a highway.	Not applicable. See above.

LANDSCAPING

(a) Properties adjacent to Highway 99 should maintain a 20 metre wide landscaped area adjacent to the Highway 99 right-of-way that contributes to the mountain character and complements the <i>development</i> .	Consistent. The revised development proposal includes new landscaped areas and maintain the 20-metre highway buffer.
(b) Wherever possible, mature trees should be preserved and integrated with new landscaping.	Consistent. The 20-metre highway buffer is preserved.
(c) Landscaping, tree plantings and screening methods should be used to:	
(i) screen surface parking lots	Consistent. Landscaping has been added to improve the streetscape and offer visual interest and shade for open spaces, while also offering some screening.
(ii) screen surface storage areas	Not applicable. There are no surface storage areas.

(iii) screen blank building façades; and	Consistent. See above
(iv) provide buffers between other adjacent land uses.	Consistent. The buffer landscaping is not impacted by the revised development plan.
(d) Landscaped areas with the capacity to infiltrate and accommodate stormwater runoff, such as planting beds and grassed areas, are encouraged to reduce stormwater runoff from surface parking lots and rooftops.	Consistent. This aspect of the landscaping is not impacted by the revised development plan.
(e) Landscaping and screening elements should be able to withstand Whistler’s harsh climatic conditions and be coordinated with adjacent landscaping.	Consistent. The proposed plant list is appropriate for this climate.
(f) Use plant species suited to the local climate, requiring minimal irrigation, which also provide dynamic seasonal interest.	Consistent. The proposed plant list is appropriate for this climate.

Industrial Service Commercial

SITE PLANNING AND BUILDING DESIGN

(a) Buildings should be developed with ‘active’ ground floors facing the street frontage, to create a positive public image, ensure businesses are easily identifiable, and promote more pedestrian-friendly gathering spaces. For example: (i) Commercial uses and other public uses, located at-grade and along building façades that front streets, should use clear window glazing. (ii) If additional commercial uses and other public areas are above the ground floor, easily identifiable, at-grade entrances should be used to locate these areas. (iii) Blank walls on street-fronting building façades are discouraged.	Consistent.
(b) For <i>developments</i> that also have a multi-family residential component:	
(i) Separate access to residential and commercial parking and loading.	Consistent. There is reserved residential parking adjacent to each building, as well as ample nonreserved spaces for non-residential users. Loading spaces are provided as per the bylaw requirements.
(ii) Give special consideration to the location and illumination level of exterior lighting to avoid light pollution on the residential component of the development.	Consistent. A lighting plan has been prepared that shows fixtures and design that is consistent with the guidelines.
(iii) Provide usable outdoor space for every living unit	Consistent. The amount of open space/lawn has been increased, and improvements have been made to offer additional seating and gathering spaces for residents.

LANDSCAPING

(a) Landscaping is a major, integral part of a project design and should be coordinated to create a pleasing composition and cohesive look, define and enliven public spaces, moderate building massing, maximize views into stores, emphasize and frame important building features and natural focal points, and provide shade for comfort.	Consistent. The Landscape Plan has been revised to provide additional gathering and outdoor seating spaces, increase the number of plants, and offer a more shaded streetscape with improved aesthetic and shade.
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MULTI-FAMILY RESIDENTIAL (SCHEDULE P)

This DP area is designated for the establishment of objectives for the form and character of multi-family residential *development*. The following table shows the applicable guidelines for this application, and offers details to indicate how the proposal complies.

SITE PLANNING AND BUILDING DESIGN

<p>(a) Buildings and landscaping should be located and designed to suit natural topography, hydrology and vegetation. Creative, site sensitive solutions are encouraged. Site planning is required to minimize disturbance to natural contours and existing vegetation, and fit the context of surrounding <i>development</i> and natural environment. Designers should use site layout, building orientation, window placement, vegetation and landscape screening to provide visual privacy between neighbouring properties.</p>	<p>Consistent.</p>
<p>(b) Variances to Zoning Bylaw regulations may be considered provided they can be demonstrated to further the objectives of this OCP.</p>	<p>As noted in the staff report, a height variance of 1 metre is proposed, to allow the full utilization of the space, with appropriate ceiling heights, and helping achieve the required energy performance (with increased depth of floor and roof packages). Additionally, staff are recommending a variance with respect to future non-residential parking calculations, and specifically, that this not be required. This is based on the provision of parking at the site that meets the Zoning Bylaw requirement and exceed other recent residential developments. No variance is requested for the number of spaces, rather it is to request the removal of the need to calculate the non-residential parking with each proposed change in use of a warehouse/commercial/retail unit.</p>
<p>(c) Innovative and interesting façade treatments are strongly encouraged on all apartment and townhouse buildings, to create identifiable, attractive multi-family <i>developments</i>. For example:</p>	
<p>(i) Stepping back or providing balcony and terrace areas on the building above the ground floor.</p>	<p>Consistent. The proposed revised design maintains the use of balconies for residential units.</p>
<p>(ii) Use of a variety of colours, roof lines, architectural features and building materials. Large areas of unvaried material are strongly discouraged.</p>	<p>Consistent. The proposed redesigned Building C is a duplicate of Building A, which both offer a variety of exterior colours and features.</p>
<p>(iii) Use of building colours complementary to neighbouring buildings or identifiable with the area. Colours should be muted and consist of natural colours found in the Whistler setting. Limited use of complementary accent colours for focal points or architectural features is encouraged.</p>	<p>Consistent, colours are muted and coordinated on the site.</p>
<p>(d) Building materials should be sufficiently durable to withstand Whistler's harsh climate.</p>	<p>Consistent. Exterior materials include corrugated metal, sheet metal panels, fibre-cement board, metal flashing, aluminum with tempered glass, and only limited wood trim.</p>
<p>(e) Innovative and interesting roof designs are strongly encouraged on all buildings, to create identifiable, attractive <i>developments</i>. For example:</p>	
<p>(i) Roof forms should be modulated to reduce the apparent bulk of a building</p>	<p>Consistent</p>

and to create more visual interest. Roof colour should be generally neutral or muted in order to blend with the natural landscape.	
(ii) Snow and drainage from roofs should not be dumped onto adjoining streets or properties. Protect all pedestrian and vehicle access points from snow shed and ice accumulation.	Consistent
(iii) Roof mounted equipment should be integrated with the overall roof design and adequately screened so it is concealed to the greatest extent possible from pedestrian viewpoints.	Not applicable. Roof mounted equipment is not proposed.
(iv) Roof designs which incorporate evolving technology and best practices for stormwater management and energy systems are encouraged within the context of other building design guidelines.	Consistent. The revised development plans have included a request for a minor height variance, in part for a 'thicker' roof package that has improved energy performance.
(f) Provide usable, public and private <i>open spaces</i> to create opportunities for recreation and social activity, and provide buffers between uses.	Consistent. The revised development plan has added open/gathering space, as well as seating and streetscape improvements to enhance the opportunities for social interaction.
(g) Incorporate design elements that address the functional needs of persons with disabilities, including those who are mobility, visually and hearing impaired, or have reduced strength or dexterity.	Consistent. The revised development plans have included accessible parking spaces in close proximity to building entrances and have widened the sidewalks to improve circulation.

ACCESS, PARKING AND WASTE FACILITIES

(a) Access roads to parking areas should be constructed at minimum available grade differentials.	Consistent
(b) The majority of apartment building parking should be provided in parking structures beneath the buildings.	Based on Zoning Bylaw Part 6, the required number of stalls is 139. Of those, 47 are underground (all under Building B), and 96 are surface.
(c) Townhouse parking may be a combination of covered parking attached to or within the <i>dwelling unit</i> , surface clusters, and underground parking as site conditions permit.	Not applicable
(d) Surface parking and loading areas should be situated appropriately in accordance with parking, loading and landscaping requirements.	Consistent.
(e) Surface parking should be screened and enhanced with landscaping and berms.	Consistent. The revised development proposal has enhanced the landscaping.
(f) Parking areas should provide adequate areas for snow storage and drainage.	Consistent. The proposal has included a snow management plan that considers the revised increased parking area.
(g) All accessible parking spaces should be located as close as possible to building entrances.	Consistent. Accessible spaces are provided near the building entrances.
(h) Bicycle storage facilities should be provided within buildings for residents' use.	Consistent. Exterior bicycle parking is shown at each building.
(i) Solid waste storage should be designed as an integral element of the <i>development</i> —contained within the building or suitably screened and complementary to overall building design, and adequately sized to meet the needs of uses on site.	Consistent. The applicant has provided a Solid Waste Management Plan that indicates appropriate space for waste and recycling and provides appropriate access.

EXTERIOR LIGHTING

(a) Outdoor lighting should be used for safe pedestrian passage and property identification firstly. Seasonal festive lighting and limited architectural and landscape feature lighting is permitted.	Consistent. The revised proposal includes a lighting plan that indicates consistency with the guidelines.
(b) Illumination levels should be of sufficient intensity to provide safe pedestrian mobility but not overpower the nightscape. Use warm lighting.	Consistent. See above
(c) Direct light downward by choosing the correct type of light fixture. Acceptable fixtures are full cut-off and fully shielded fixtures that shield the light source to reduce glare	Consistent. See above.

SIGNAGE

(a) All signage associated with multi-family <i>developments</i> should be designed to be architecturally consistent with associated buildings.	Not applicable. The revised proposal does not impact the signage on the site. Preparation and review of the signage plan by the GM – CAPDS remains a condition of the current DP, and is required prior to issuance of any sign permits.
(b) All signage must also meet the requirements of the Sign Bylaw, except that the bylaw requirements may be varied to authorize signs that are demonstrated to better achieve the overall objectives of these form and character guidelines.	See above

FENCING

(a) Fencing is generally discouraged but may be used where necessary, along with vegetative planting, to limit public access to utilities or dangerous areas.	Not applicable. The proposed revised development proposal does not impact the fencing on the site.
(b) Fence design should be appropriate to its function, location and context in the neighbourhood. Fences should be of a high quality, reflecting and extending the building details and integrated with landscaping to minimize their visual impact.	See above
(c) The use of chain link fencing is discouraged, and such fencing should not be visible from pedestrian areas, a street or a highway.	See above

LANDSCAPING

(a) Landscaping is a major, integral part of a project design and planting should emphasize the natural setting while enabling solar access into residential units.	Consistent. The proposed revised development plan provides visual interest, shade for seating areas, and variety to the streetscape
(b) Landscaping should be able to withstand Whistler's harsh climatic conditions and be coordinated with adjacent landscaping.	Consistent.
(c) Properties adjacent to Highway 99 should maintain a 20 metre wide landscaped area adjacent to the Highway 99 right-of-way that is densely clustered to simulate the scale and variety of forest plantings in order to integrate with the surrounding trees and natural setting.	Consistent. The revised proposal does not impact landscaping within the 20-metre highway buffer.
(d) Wherever possible, mature trees should be preserved and integrated with new landscaping	Consistent. The proposed revision does not impact this aspect of the guidelines.

<p>(e) Landscaped areas with the capacity to infiltrate and accommodate stormwater, such as planting beds and grassed areas, are encouraged to reduce stormwater runoff from surface parking lots and rooftops. The use of permeable paving materials for parking lots and other paved surfaces should also be considered.</p>	<p>Consistent. The proposed revision does not impact this aspect of the guidelines.</p>
<p>(f) Use plant species suited to the local climate, requiring minimal irrigation, which also provide dynamic seasonal interest</p>	<p>Consistent.</p>

STREETSCAPE

<p>(a) Pedestrian areas, including sidewalks and pathways located on or adjacent to the site, should be an appropriate width, in terms of expected pedestrian volumes. The width should accommodate unencumbered year-round travel for both pedestrians and persons with accessibility challenges. Consideration should be given to snow clearing and snow storage areas.</p>	<p>Consistent</p>
<p>(b) Building entrances should be directly accessed from sidewalks, parking lots and pedestrian pathways as seamlessly as possible from the street. Grade changes between sidewalks, squares, outdoor seating areas, transit stops and other pedestrian areas should also be minimized and designed to accommodate the needs of persons with disabilities.</p>	<p>Consistent</p>
<p>(c) Building entrances, lobbies, stairs, corridors and exterior walkways should be designed to accommodate people wearing ski boots and carrying bulky equipment. Extra width, gentle pedestrian access grades, more generous steps, and heavier more durable materials should be provided.</p>	<p>Consistent</p>
<p>(d) Pathways and trails providing links to other <i>non-motorized</i> networks are encouraged.</p>	<p>Not applicable. The revised development proposal does not impact trail links.</p>

WILDFIRE PROTECTION (SCHEDULE S)

This DP area is designated for the protection of *development* from hazardous conditions; specifically protection from wildfire. The following table shows the applicable guidelines for this application, and offers details to indicate how the proposal complies.

ALL AREAS

The following guidelines apply to all areas shown on Schedule S:

<p>(a) Where a distance is specified by these guidelines for the purpose of establishing an area that should be cleared or remain free of vegetation, the distance should be measured from the outermost part of the building to:</p> <ul style="list-style-type: none"> (i) the distance specified in the guideline; (ii) the property line, unless permission has been granted by the adjacent property owner; or (iii) the boundary of an <i>environmentally sensitive area</i> unless clearing is carried out in accordance with the recommendations of a <i>QEP</i> and approved in writing by the municipality's Manager of Environmental Stewardship whichever is closer. 	<p>Noted.</p>
<p>(b) Where the municipality receives a <i>FireSmart® Assessment</i> in respect of a property which is the subject of an application for a development permit under this section, the municipality may choose to apply, as permit conditions, the recommendations of the report instead of, or in addition to, the guidelines in this section.</p>	<p>Not applicable. The revised development proposal has not provided a <i>FireSmart® Assessment</i>.</p>
<p>(c) Where these guidelines warrant tree removal preference should be given to:</p> <ul style="list-style-type: none"> (i) retaining the largest and healthiest trees; (ii) removing coniferous vegetation located closest to principal buildings; and (iii) retaining deciduous trees and vegetation. 	<p>Not applicable.</p>

HIGH RISK AREAS

In areas shown as "High Risk" on Schedule S, the following guidelines apply:

<p>(a) New and existing coniferous vegetation within 10 metres and where practical 20 metres of principal buildings should maintain a typical spacing between tree canopies and between tree canopies and principal buildings of at least 3 metres. This can be achieved by:</p> <ul style="list-style-type: none"> (i) planting/removing conifers to achieve a trunk to trunk or trunk to building spacing of 6 metres or more; or (ii) limbing mature trees, selecting species with narrow canopies or applying similar landscaping techniques to obtain a minimum 3 metre vertical and horizontal separation between tree canopies and between tree canopies and principal buildings. 	<p>Consistent. The revised development plan does not affect the wildfire mitigation requirements under the existing DP.</p>
<p>(b) Dead branches and twigs should be cleared within 20 metres of principal buildings. Standing dead trees with a caliper of 17 centimetres or more should be topped at 3 metres and cleared of all branches. Where dead branches are attached to</p>	<p>Consistent. See above.</p>

<p>logs greater than 17 centimetres wide or trees they should be trimmed to the trunk of the tree or log and in the case of trees, to a height of 2 metres.</p>	
<p>(c) Planting native deciduous trees and shrubs is encouraged especially in cases where coniferous vegetation has been removed.</p>	<p>Consistent. See above.</p>
<p>(d) Notwithstanding guideline (a) in areas shown as “High Risk” within Whistler Village, as indicated on Schedule S, the following guidelines will also apply:</p> <ul style="list-style-type: none"> (i) Individual coniferous trees may be located within 3 metres of a building, provided: <ol style="list-style-type: none"> 1. no other conifers are within 6 metres (measured from trunk to trunk) of the conifer; 2. exterior portions of the building fronting the tree’s existing and eventual canopy are clad in non-flammable materials such as stone, metal, concrete, masonry or fiber-cement; and 3. building roofing is comprised of metal, clay tile, fibre-cement, asphalt shingle or similar material; wood shakes of any kind are not acceptable. (ii) To preserve coniferous landscaping in Whistler Village, as indicated on Schedule S, landscaped areas, especially landscaped areas beyond 3 metres from a building, should incorporate coniferous trees and vegetation so as to achieve an overall mix of coniferous to deciduous trees. Clusters of mature coniferous trees should be <i>spiral pruned</i>. 	<p>Consistent. See above.</p>
<p>(e) The use of bark mulch and similar organic ground cover in landscaped areas within 10 metres of buildings is discouraged.</p>	<p>Consistent. See above.</p>
<p>(f) Exterior building surfaces, including deck surfacing, roofing and cladding, that is situated under, or within 6 metres of, coniferous vegetation should be non-flammable materials such as stone, metal, concrete, masonry or fiber-cement.</p>	<p>Consistent. See above.</p>
<p>(g) Fire-resistant or non-flammable cladding that is consistent with mountain character (e.g., fiber-cement siding, stone, logs or heavy timbers) is encouraged. Stucco and vinyl siding are discouraged.</p>	<p>Consistent. See above.</p>
<p>(h) Windows and doors should utilize double-paned or triple-paned glass; tempered glass is ideal, and single pane glass is discouraged.</p>	<p>Consistent. See above.</p>
<p>(i) Eaves should be closed and vents screened with 3 millimetre wire mesh.</p>	<p>Consistent. See above.</p>
<p>(j) The undersides of balconies, decks or open foundations should be sheathed with fire-resistant materials.</p>	<p>Consistent. See above.</p>
<p>(k) Auxiliary buildings and fuel tanks should be located as far away from principal buildings as possible. A distance of 15 metres or more is ideal. Where a distance of 15 metres or more is impractical, guidelines in this section that apply to</p>	<p>Consistent. See above.</p>

principal buildings should be applied to accessory buildings.	
(l) Chimneys for wood burning fireplaces should have spark arrestors.	Consistent. See above.
(m) Gutters should be made of metal.	Consistent. See above.
(n) Cladding should be free of gaps and holes and separated from the ground with a minimum of 15 centimeters of non-combustible ground to siding clearance.	Consistent. See above.