

Resort Municipality of Whistler
Notice of Intention to Issue a Development Variance Permit
(Application No. DVP01223 – 8576 DRIFTER WAY)

The Council of the Resort Municipality will consider a resolution to issue a Development Variance Permit under s. 498 of the *Local Government Act* at its regular meeting to be held at:

Time: 5:30 p.m., **Tuesday, October 21, 2025**
Location: Franz Wilhelmsen Theatre at Maury Young Arts Centre
4335 Blackcomb Way, Whistler, B.C.

The land that is the subject of the Permit is legally described as: PID: 008-744-653 LOT 30 DISTRICT LOT 7251 PLAN 13066, as shown on the map attached to this notice.

The purpose of the Permit is to vary Whistler's Zoning and Parking Bylaw 303, 2015 **to permit a minimum of two parking spaces on the parcel; allow an auxiliary building containing an auxiliary residential dwelling unit to be located 1.92 metres from the front parcel line; allow three auxiliary buildings containing bike storage use to be located 3.7 metres from the front parcel line and 0.96 metres from the (south) side parcel line; allow a detached dwelling to be located 2.47 metres from the rear parcel line; and to allow a landscape stair roof support post to be located 1.34 metres from the (south) side parcel line.**

Without the proposed variances, the minimum number of required parking spaces for the parcel is three; the minimum permitted front setback is 7.6 metres; the minimum permitted rear setback is 7.6 metres and the minimum permitted side setback is 3 metres.

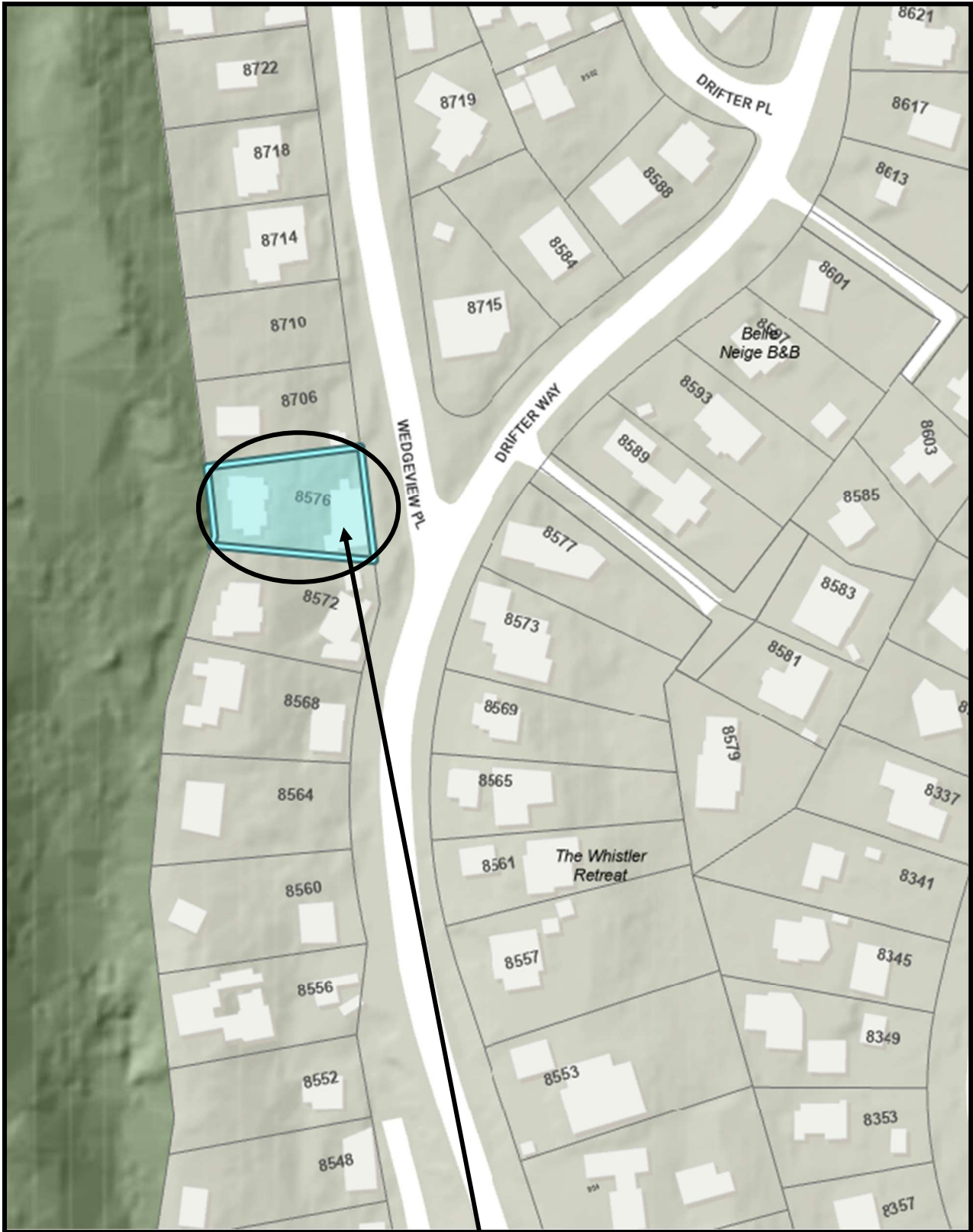
Copies of the Development Variance Permit, along with the permit application and supporting documentation, may be viewed electronically on the Resort Municipality of Whistler's website at the following link: <https://www.whistler.ca/publicnotices>. Alternatively, copies of the Development Variance Permit, permit application and supporting documentation may also be inspected at the Reception Desk of Municipal Hall at 4325 Blackcomb Way, Whistler, BC, during regular office hours (Monday to Friday, 9:00 a.m. to 4:00 p.m., excluding statutory holidays) until October 21, 2025.

If you wish to provide comments you must do so in writing, by 12:00 p.m. on October 21, 2025 to: Lindsay Clarke, Planner, 4325 Blackcomb Way, Whistler, BC V8E 0X5, planning@whistler.ca. Written comments received by 12:00 p.m. October 15, 2025 will be included in the Council package and published on October 16, 2025. Any written comments received after 12:00 p.m. October 15, 2025 but no later than 12:00 p.m. October 21, 2025 will be distributed to Council in the late correspondence package on October 21, 2025.

Lindsay Clarke can also be reached at 604-935-8170.

Comments must be provided in writing, and will become part of the public record of the Council meeting.

Notice of Intention of Issue a Development Variance Permit
(Application No. DVP01223 – 8576 DRIFTER WAY)



Subject Land
8576 DRIFTER WAY