

**Non-Delegated Development Variance Permit No. DVP01223**

To: SYER, TOMMY M  
LITTLE, TAMARA M

"the Permittee"

1. This Development Variance Permit is issued by the Resort Municipality of Whistler (the Municipality) subject to compliance with all of the bylaws of the Municipality applicable thereto, except as specifically varied by this permit.
2. This Development Variance Permit applies to and only to those lands within the Municipality described below (except as otherwise provided herein):

PID: 008-744-653

LOT 30 DISTRICT LOT 7251 PLAN 13066

"the lands"

3. The Resort Municipality of Whistler Zoning and Parking Bylaw No. 303, 2015 is varied as follows:
  - a) Vary Part 5 Section 35 Subsection (15), to permit a minimum of two parking spaces on a parcel, without the provision of one parking space per dwelling unit;
  - b) Vary the front setback from 7.6 metres to 1.92 metres for an auxiliary building for auxiliary residential dwelling unit use;
  - c) Vary the front setback from 7.6 metres to 3.7 metres and vary the (south) side setback from 3 metres to 0.96 metres for three auxiliary buildings for bike storage use;
  - d) Vary the rear setback from 7.6 metres to 2.47 metres for a detached dwelling; and
  - e) Vary the (south) side setback from 3 metres to 1.34 metres for a landscape stair roof support post;

all as illustrated on the Architectural Plans A001, A004, A005, A006, A007, A104, A105,



A106, A108, A201, A202, A203, A302 and A303 prepared by GNAR Inc, dated September 10, 2025 attached to this Development Variance Permit as Schedule A.

4. The development shall be constructed on the lands in accordance with the following terms and conditions:
  - a) Six (6) covered and secure bike parking spaces with electric charging facilities shall be provided on the parcel in the form of three (3) double capacity CycleSafe ProPark Standard Model SM-S01 units per Pages 3, 6, 7, 9 and 11, attached to this Development Variance Permit as Schedule B (or similar) and shall be installed as illustrated on Architectural Plan A005, prepared by GNAR Inc, dated September 10, 2025 attached to this Development Variance Permit as Schedule A.
5. This Development Variance Permit shall automatically lapse, and the Municipality may file a notice of cancellation of this Development Variance Permit with the registrar of the Land Title Office if the Permittee does not substantially commence the construction permitted by this Development Variance Permit within two (2) years of the date of issuance.
6. The lands shall be developed strictly in accordance with the terms and conditions and provisions of this Development Variance Permit and any plans and specifications attached to this Development Variance Permit which shall form a part hereof.
7. The terms of this Development Variance Permit, or any amendment to it, are binding on all persons who acquire an interest in the lands affected by this Development Variance Permit.
8. This Development Variance Permit **is not** a Building Permit. A Building Permit is required for buildings, structures and site work regulated by the Municipality's building regulation bylaw, in addition to this Development Variance Permit.

**Authorizing resolution passed by the Council the \_\_\_\_ day of \_\_\_\_, 2025.**

**Issued this day of \_\_\_\_, 2025.**

**Delegated approval by Mr. Dale Mikkelsen, General Manager of Climate Action, Planning and Development Services.**



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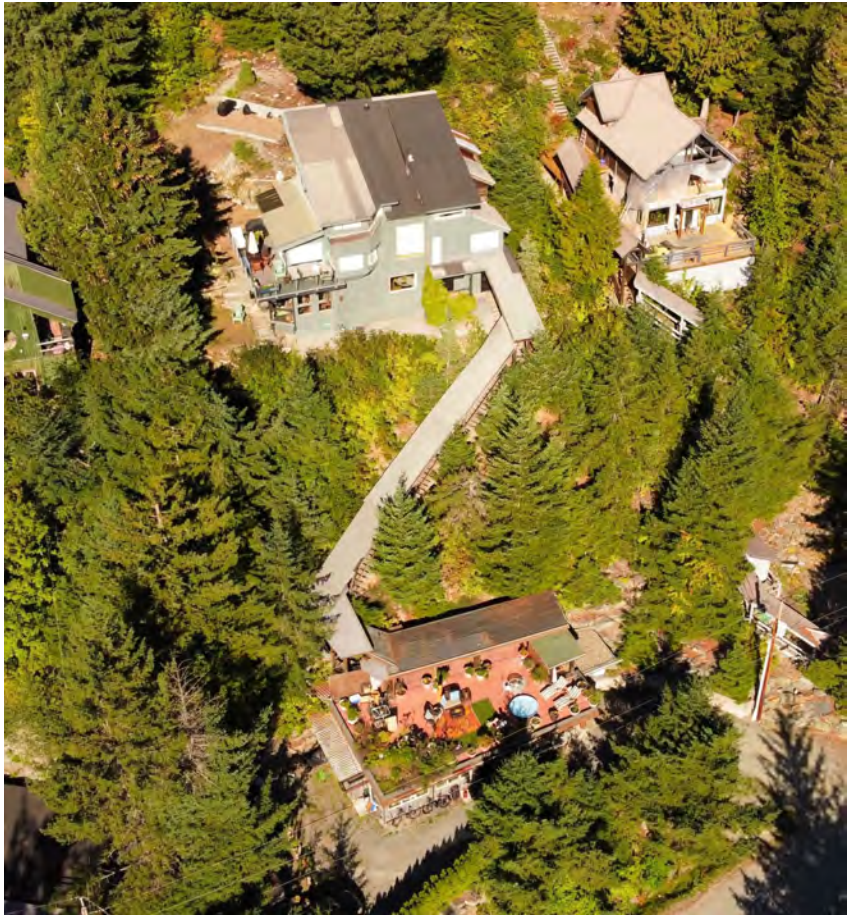
Dale Mikkelson, General Manager of Climate Action,  
Planning and Development Services

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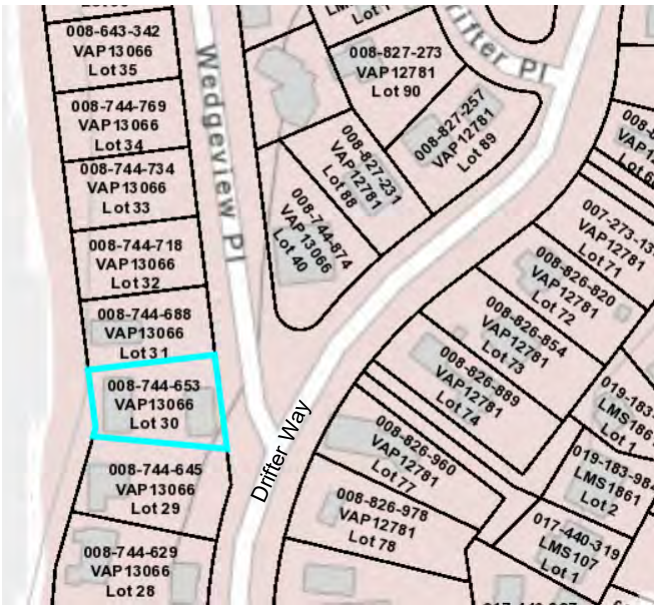




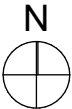
1  
A001 3D Architectural Perspective B&W  
SCALE: 1:51.92



Aerial photo of existing site showing site conditions, siting and slope etc



2  
A001 Site Location Plan  
SCALE: 1:1.33



#### Project Team

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Contact: Jeremy Childs

#### Property Information

Project Type: Renovation / Addition / Legitimization - BP Application

Owners: Tom Syer and Tamara Little

Site Address: 8576 Drifter Way Whistler BC

Legal Description: Lot 30 District Lot 7251 Plan 13066

Parcel Identifier: 008-744-653

Zoning: R11

Setbacks: Side 3 m, Rear 7.6 m, Front 7.6 m (See variances below)

Building Height: Proposed = 8.1m; Max permitted = 7.6 m (see variances)

Lot Area: 965.1 sqm

Site Coverage Ratio = 160.12 sqm / 965.1 sqm = 16.59%

Gross Floor Area = 325.04 sqm

Floor Space Ratio = 325.04 sqm / 965.1 sqm = 33.68%

#### Development Variance Permit List of Variances Requested: (Refer to Appendix A006 for photographs of requested variance areas): DVP01223

- Parking:**  
1: Reduce the amount of required on-site parking spaces from three to two.  
**Auxiliary Residential Dwelling:**  
2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.  
**Auxiliary Bike Storage Units:**  
3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units.  
**Detached Main Dwelling:**  
4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)  
**Landscape Stairs:**  
5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022.  
**Parking:**  
6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.  
7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.  
**Detached Main Dwelling:**  
8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.  
9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting

Variances 1-5 are non-delegated, variances 6-9 are delegated.

#### General Notes

- All work shall conform to Part 9 of the BC Building Code 2024 Major Occupancy C and all other applicable codes and ordinances.
- Do not scale drawings: use calculated dimensions only. Verify existing "as-built" dimensions as req'd. All dimensions are to face of stud unless noted otherwise.
- Verify all rough-in dimensions and locations for equipment, fixtures etc. Provide all blocking, buck-outs, backing and jacks required for installation.
- All wood in contact with concrete to be pressure treated.
- All flashing to be galvanized, galvalume or factory finish to be approved by architect and owner.
- Contractor shall verify all existing conditions prior to initiating any portion of the work.
- Provide all protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect components to remain.
- Stair and guardrail openings to be less than 4".
- Tight line all affected drainage to approved drainage system.
- All framing to be properly caulked, sealed, gasketed or otherwise treated to minimize air infiltration prior to sheathing and finishing.
- All (new) smoke detectors to be hardwired to home's electrical system.

#### Sheet Index

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|----------|--------------------------|
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- Scope of Work For Build Permits 006540/006541:**  
**All work to be completed in tandem with code consultant review\* To be submitted under Small-Scale Multi-Unit Housing (SSMUH)**  
1. Demolish roof deck use above garden suite, return to roof only  
2. Install conforming guardrail to restrict further access to roof  
3. Demolish multiple non-conforming shed structures throughout  
4. Install conforming handrail on access stairs where required.  
5. Provide adequate clear headroom on access stairs. Install slip resistant nosings or other stair applications on access stairs.  
6. Legitimize existing non-permitted floor area.  
7. Install/verify/repair fire separation of as-built suites  
8. Install conforming lighting on access stairs.  
9. Renovate kitchen & main bathroom as per drawings.  
10. Replace inoperable smoke alarms throughout.  
11. Existing operable windows are recommended to have window opening restrictors installed so that the window opening will not exceed 100mm in width.  
12. Demolish storage walls to reduce overall GFA to what is permitted by zoning.  
13. Resolve any other non-conforming items identified on site in collaboration with the Code Consultant and RMOW.



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PROJECT:  
**H69 - 8576 Drifter Way**  
8576 Drifter Way Whistler BC

This Drawing Set is to be submitted as part of Development Variance Permit 1223 - DVP01223 is applied for in tandem with BP6540/6541 to bring as-built existing non-conforming construction into compliance with BCBC2024 and Zoning and Parking Bylaw 303.

Drawing size is 22"x34"  
Prints on 11"x17" are at 50% scale

This submission is provided for permitting purposes. For construction, refer to the Issued for Construction version of these plans and supporting documents.

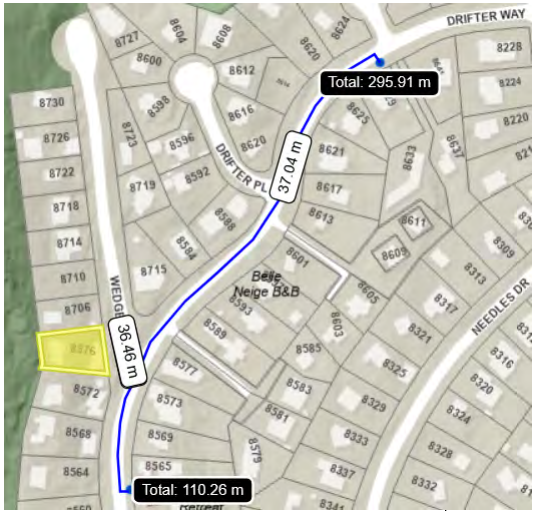
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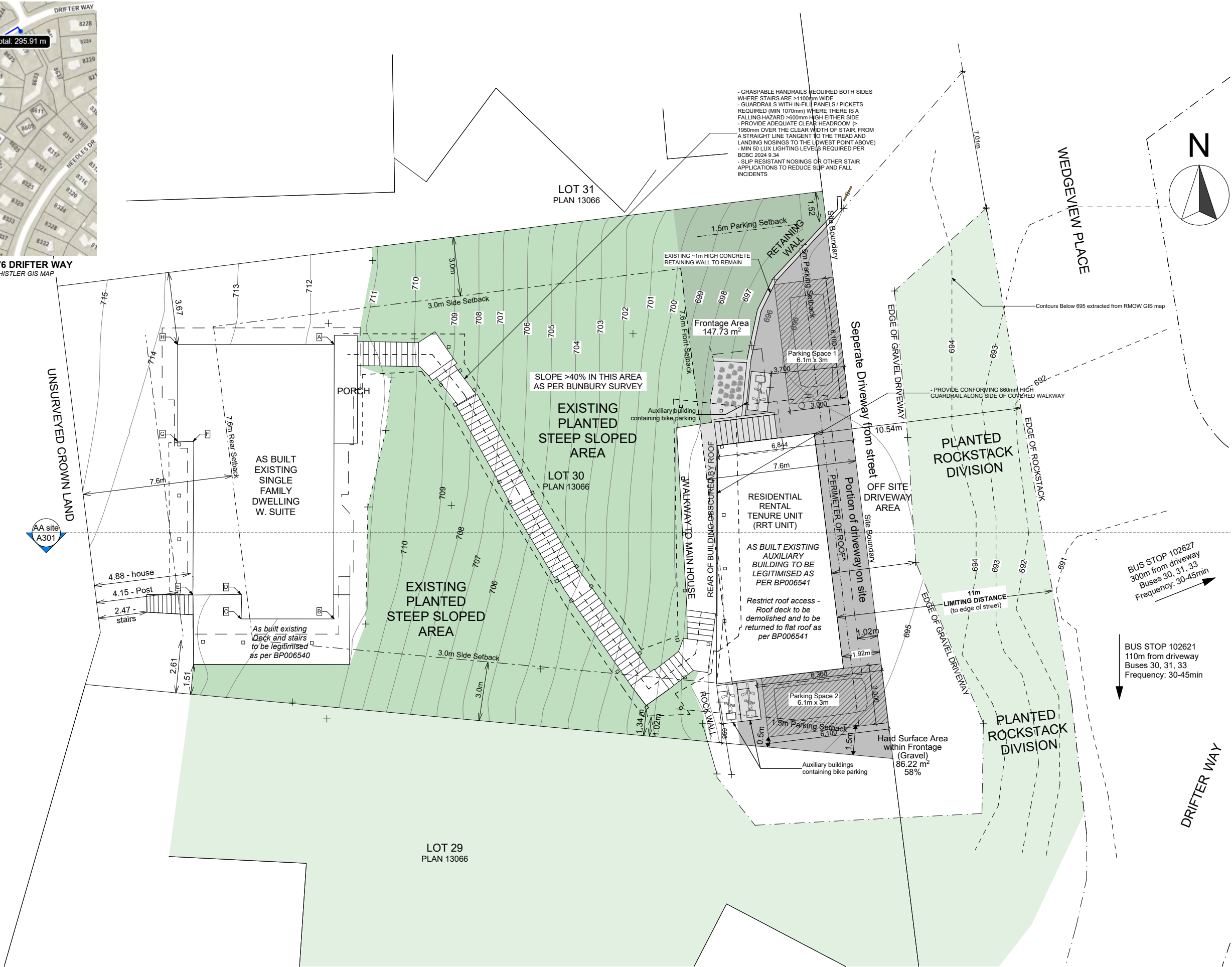
SHEET TITLE:  
**Cover Sheet and Site Location Plan**

SHEET ID:  
**A001**





BUS STOP DISTANCES FROM 8576 DRIFTER WAY  
AS PER MEASURED DISTANCES FROM WHISTLER GIS MAP





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SHEET TITLE:  
Site and Service Plan - Proposed

SHEET ID:  
**A004**

Development Variance Permit List of Variances Requested: (Refer to Appendix A006 for photographs of requested variance areas):

Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.

1: Reduce the number of required on-site parking spaces from three to two.

Auxiliary Residential Dwelling: AS BUILT LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION

2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.

Auxiliary Bike Storage Units: LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION

3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units

Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007

4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)

Access Stairs: NECESSARY ACCESS STAIRS MEANDERING UP THROUGH SITE DUE TO DIFFICULT STEEP SLOPED SITE AS IS COMMON ON DRIFTER WAY/WEDGEVIEW PLACE.

5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022

Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.

6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.

7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.

Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007

8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.

9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting

Variances 1-5 are non-delegated, variances 6-9 are delegated.

"Access Stairs" - due to existing steep sloping site condition - centerline height less than 1m above siting at all points

3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units

6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.

1: Reduce the amount of required on-site parking spaces from three to two.

Perimeter of Roof

Parking Setback

As per BP006541: Install 900mm (as per BCBC2024) guardrail along side of covered walkway to restrict roof access. Roof deck to be demolished and to be returned to flat roof

3x CycleSafe ProPark Series Bike Locker - Standard Model (or similar) 1-2 bike capacity per locker, storage for up to 6 bikes total - see appendix for additional info

2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.

6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.

7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2

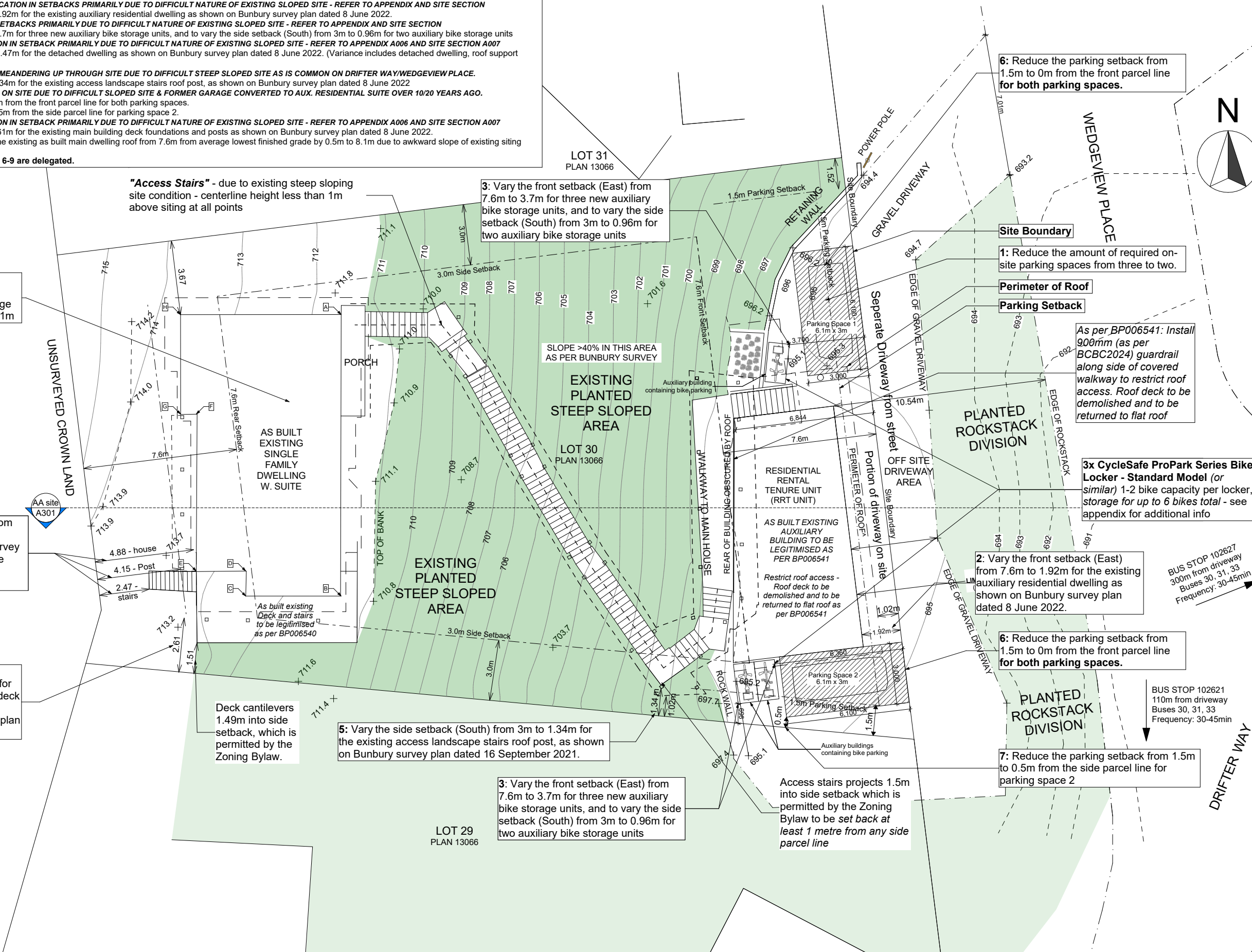
Access stairs projects 1.5m into side setback which is permitted by the Zoning Bylaw to be set back at least 1 metre from any side parcel line

3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units

5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 16 September 2021.

8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.

4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)



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as part of Development Variance

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ISSUE:

#01 -

ISSUED FOR DEVELOPMENT

VARIANCE PERMIT

ISSUE:

2025-09-10

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SHEET TITLE:

Site Plan with Variances

SHEET ID:

A005



**Parking:**  
1: Reduce the amount of required on-site parking spaces from three to two.  
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**Auxiliary Residential Dwelling:**  
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**Auxiliary Bike Storage Units:**  
3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units.



a) Parking Space 1



b) Parking Space 2



c) Front Rockstack Division



d) Auxiliary Garden suite and driveway



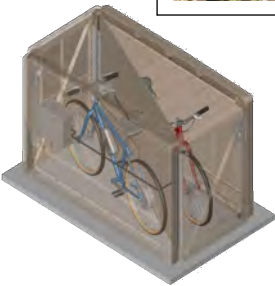
e) Auxiliary Garden suite, driveway and parking space 2



f) steep sloping front of site



g) 3 Proposed CycleSafe ProPark Series Bike Locker - Standard Model (or similar) storage for up to 6 bikes total - Example of secured and covered bike parking/locker with e-bike charging outlet to assist with parking reduction



**Detached Main Dwelling:**  
4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)  
8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.  
9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting - refer to DVP-A07 - Site Section



h) Side of Main dwelling (trellis to be removed) posts, deck etc for variance



j) As built Rear deck and stairs



i) As built Rear deck and stairs



k) As built shelter structure for requested variance



l) As built Rear of main house, deck and stairs, roof, posts etc for variance request

**Access Stairs:**  
5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022.



m) Access Stair Posts, roof etc - section for variance



o) Access Stair Posts, roof etc



n) Access Stairs condition



p) Aerial photo of existing site showing site conditions, siting and slope etc



q) Aerial photo of existing site



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PROJECT:  
**H69 - 8576 Drifter Way**  
8576 Drifter Way Whistler BC

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Drawing size is 22"x34"  
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ISSUE:  
**#01 - ISSUED FOR DEVELOPMENT VARIANCE PERMIT**

ISSUE:  
**2025-09-10**  
12:29 PM

SHEET TITLE:  
**Appendix for Site Plan with Variances**

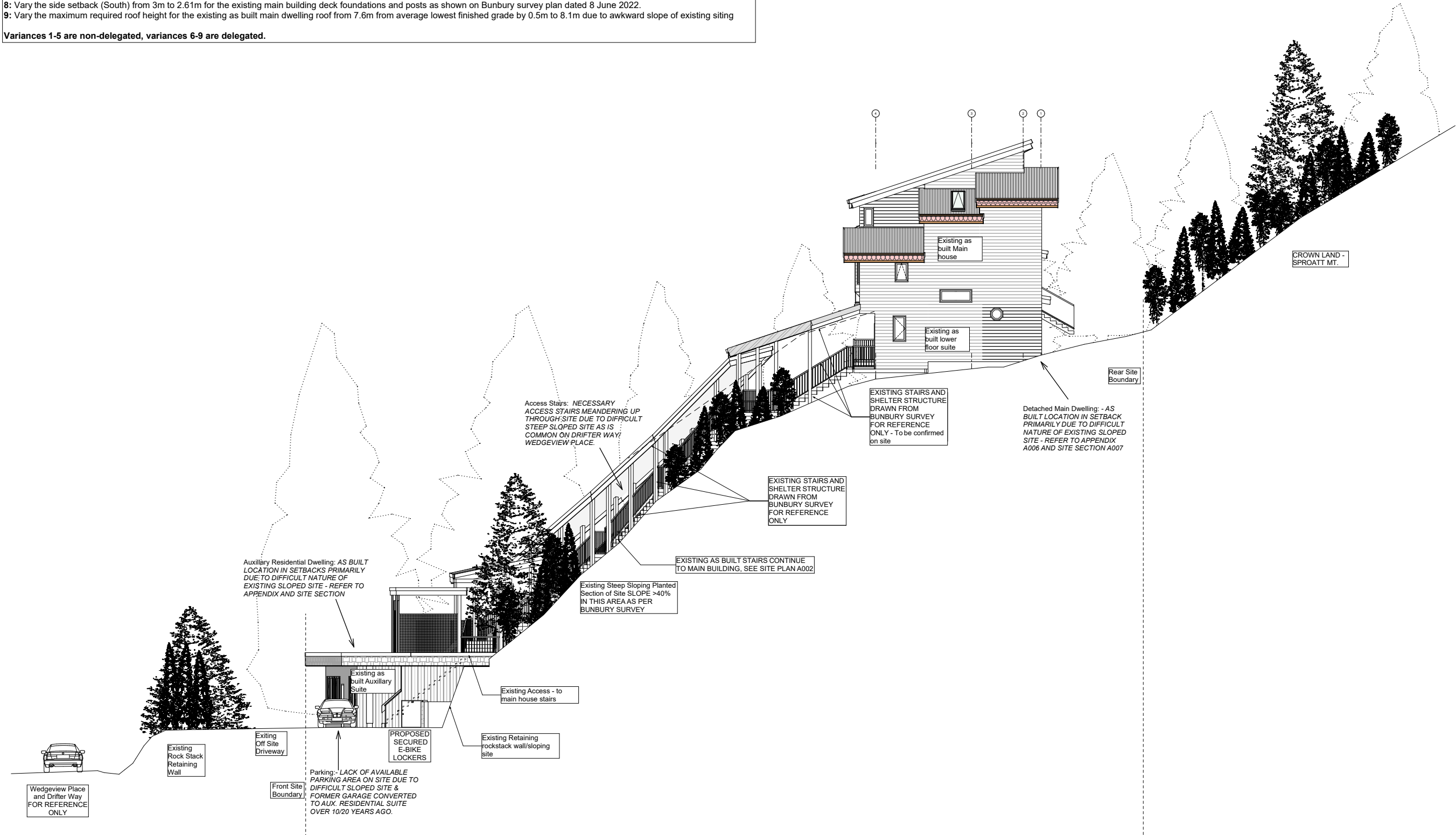
SHEET ID:  
**A006**




Development Variance Permit List of Variances Requested: (Refer to Appendix A006 for photographs of requested variance areas):

- Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.**  
1: Reduce the number of required on-site parking spaces from three to two.  
**Auxillary Residential Dwelling: AS BUILT LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION**  
2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxillary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.  
**Auxillary Bike Storage Units: LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION**  
3: Vary the front setback (East) from 7.6m to 3.7m for three new auxillary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxillary bike storage units  
**Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007**  
4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)  
**Access Stairs: NECESSARY ACCESS STAIRS MEANDERING UP THROUGH SITE DUE TO DIFFICULT STEEP SLOPED SITE AS IS COMMON ON DRIFTER WAY/WEDGEVIEW PLACE.**  
5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022  
**Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.**  
6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.  
7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.  
**Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007**  
8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.  
9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting

Variances 1-5 are non-delegated, variances 6-9 are delegated.





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SHEET TITLE:  
**Site Section**

SHEET ID:  
**A007**



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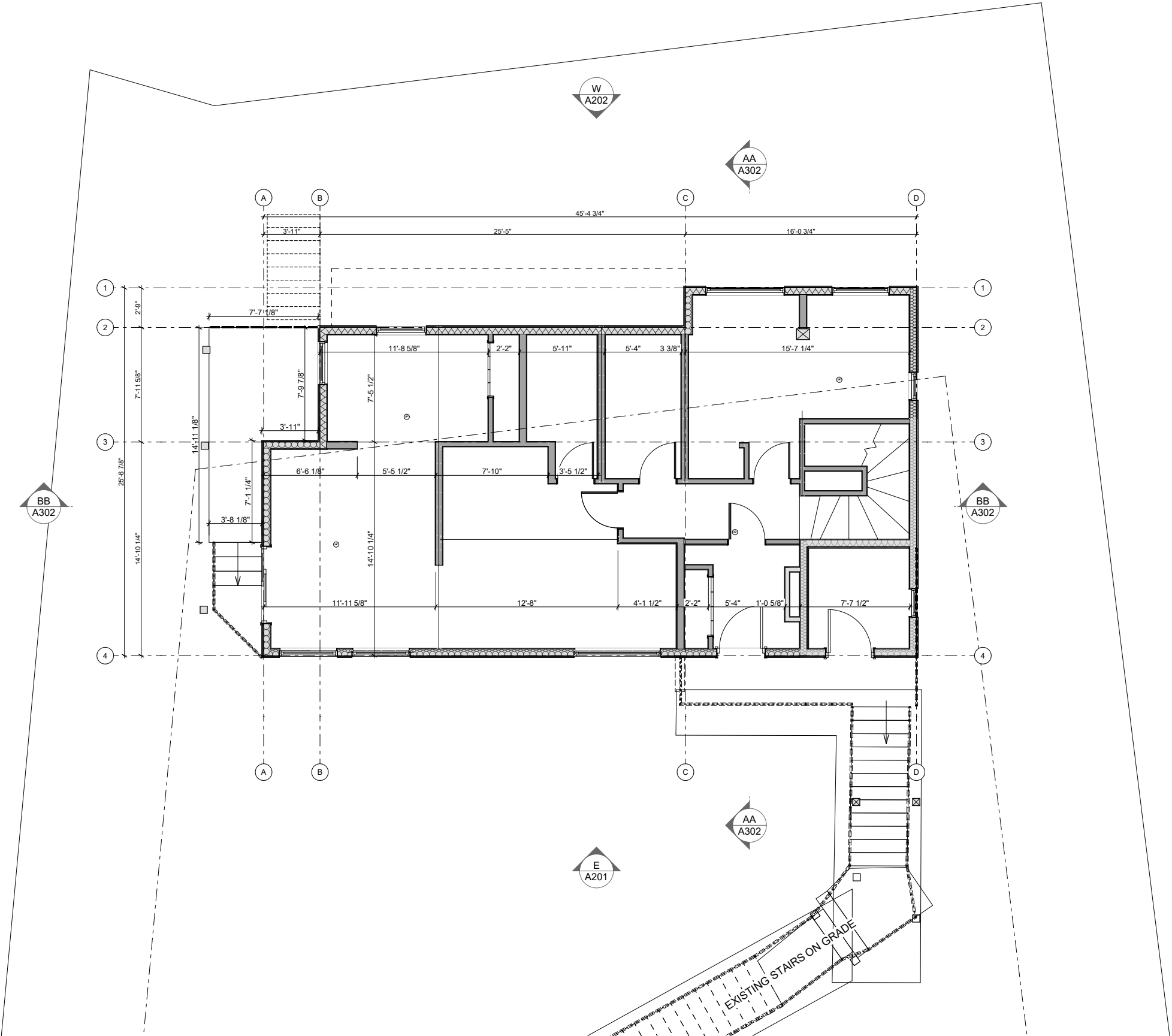
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**#01 - ISSUED FOR DEVELOPMENT VARIANCE PERMIT**

ISSUE:  
**2025-09-10**  
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SHEET TITLE:  
**Lower Level Suite Plan**

SHEET ID:  
**A104**





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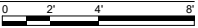
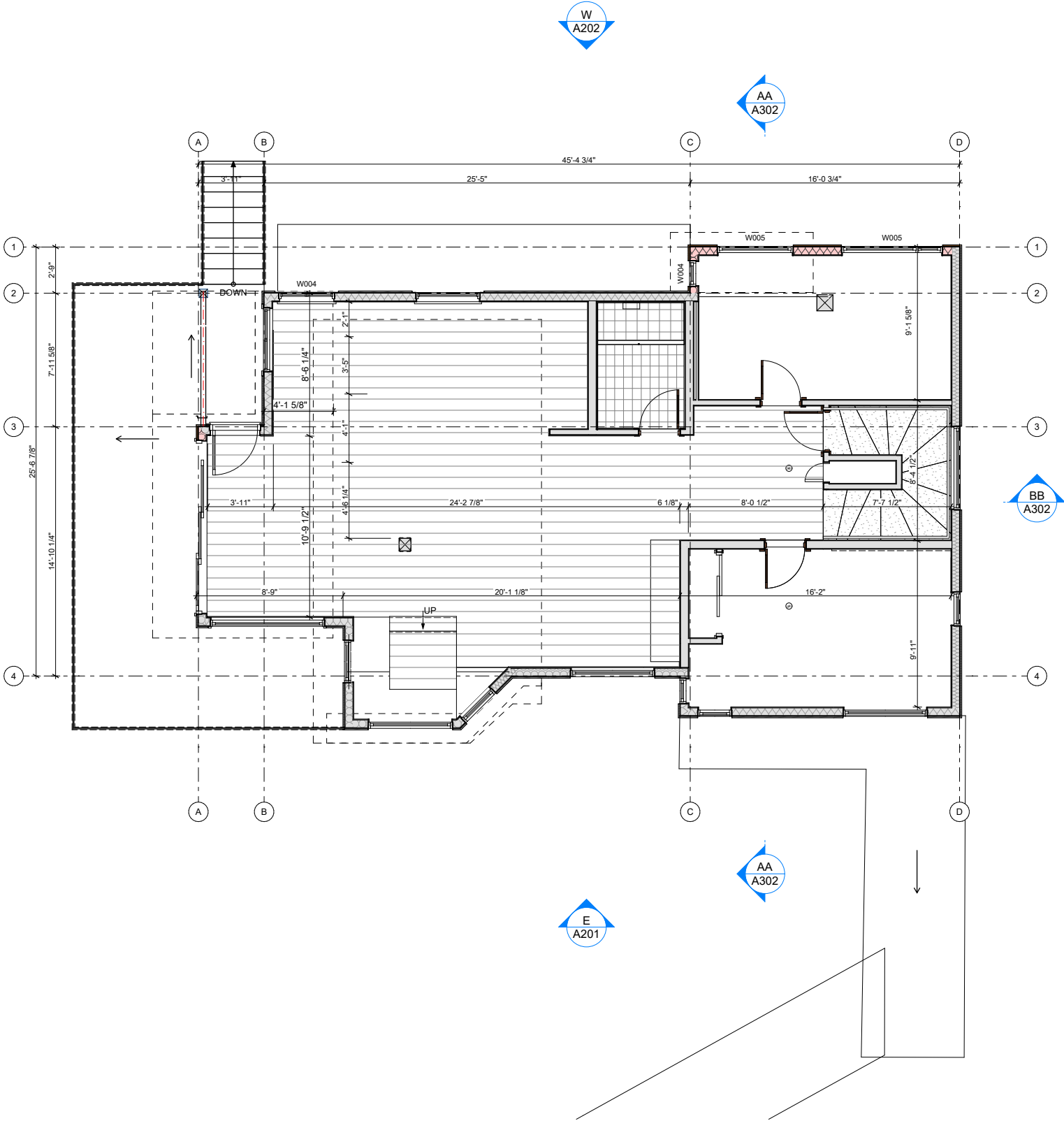
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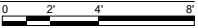
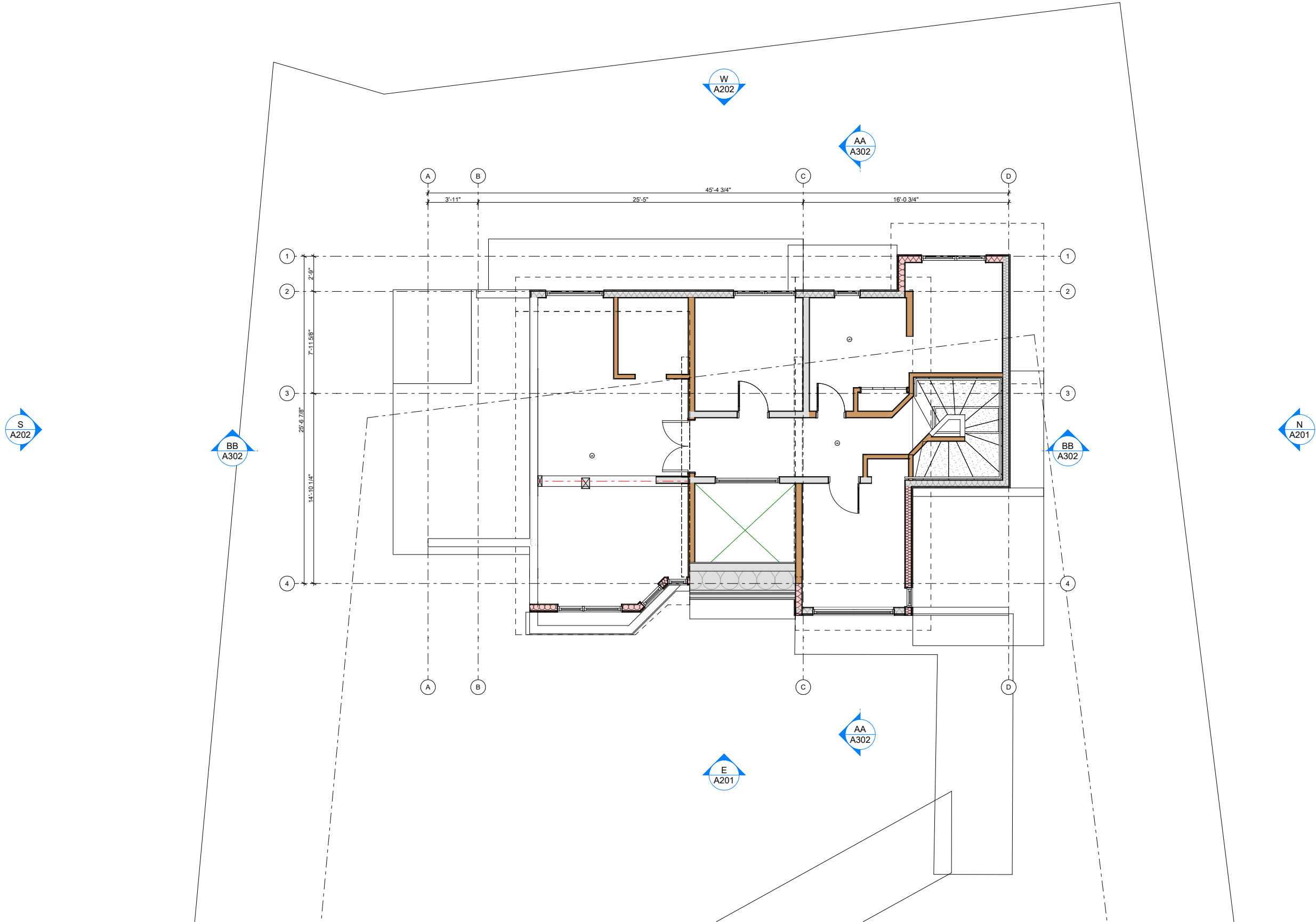
SHEET TITLE:  
**Main Level Plan**

SHEET ID:  
**A105**





SCHEDULE A



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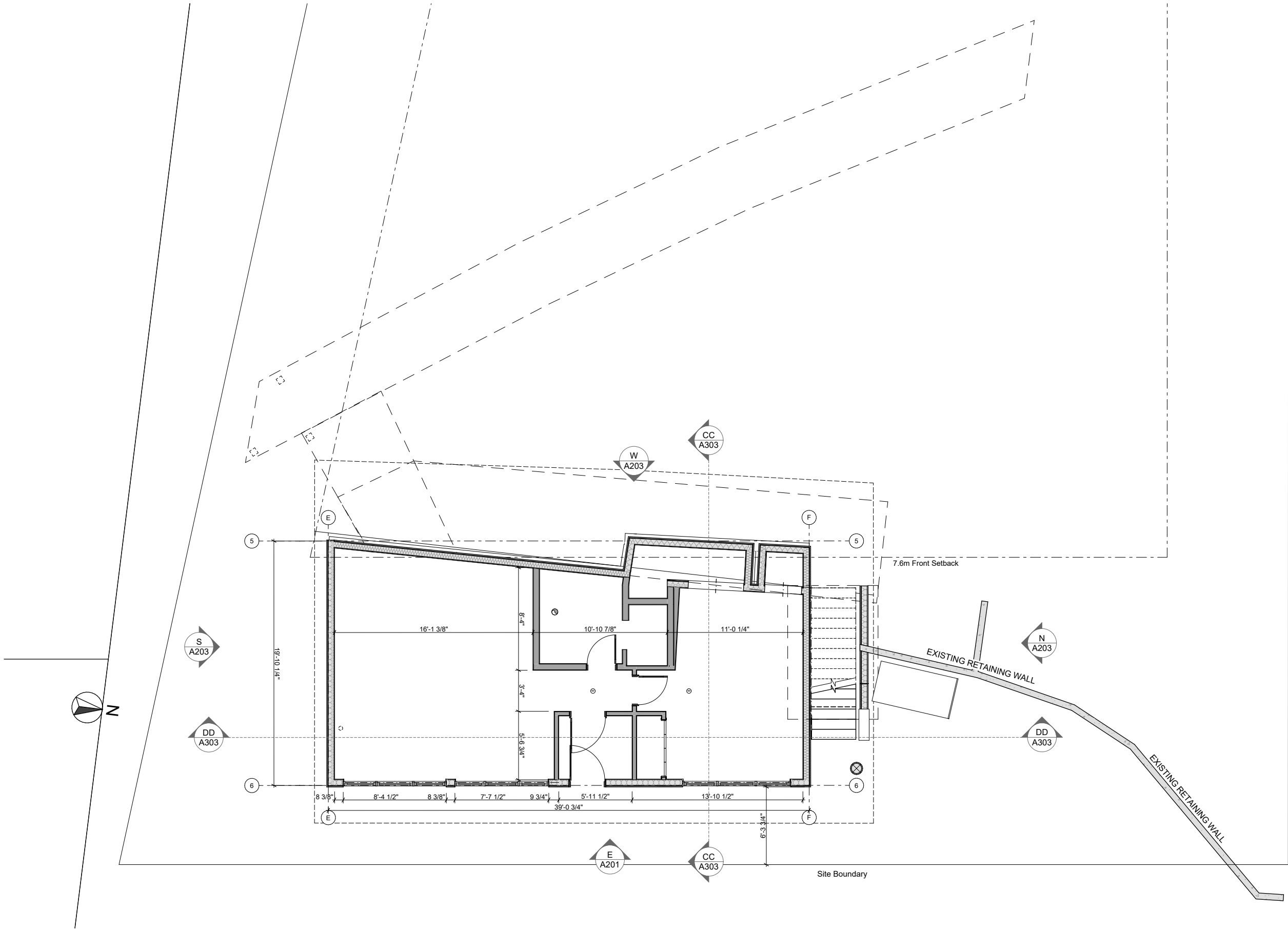
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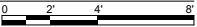
ISSUE:  
**2025-09-10  
12:30 PM**

SHEET TITLE:  
**Upper Level Plan**

SHEET ID:  
**A106**



1  
A108  
Auxiliary Suite Floor Plan  
SCALE: 1/4" = 1'-0"



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SHEET TITLE:  
Auxiliary Suite Plan

SHEET ID:  
**A108**

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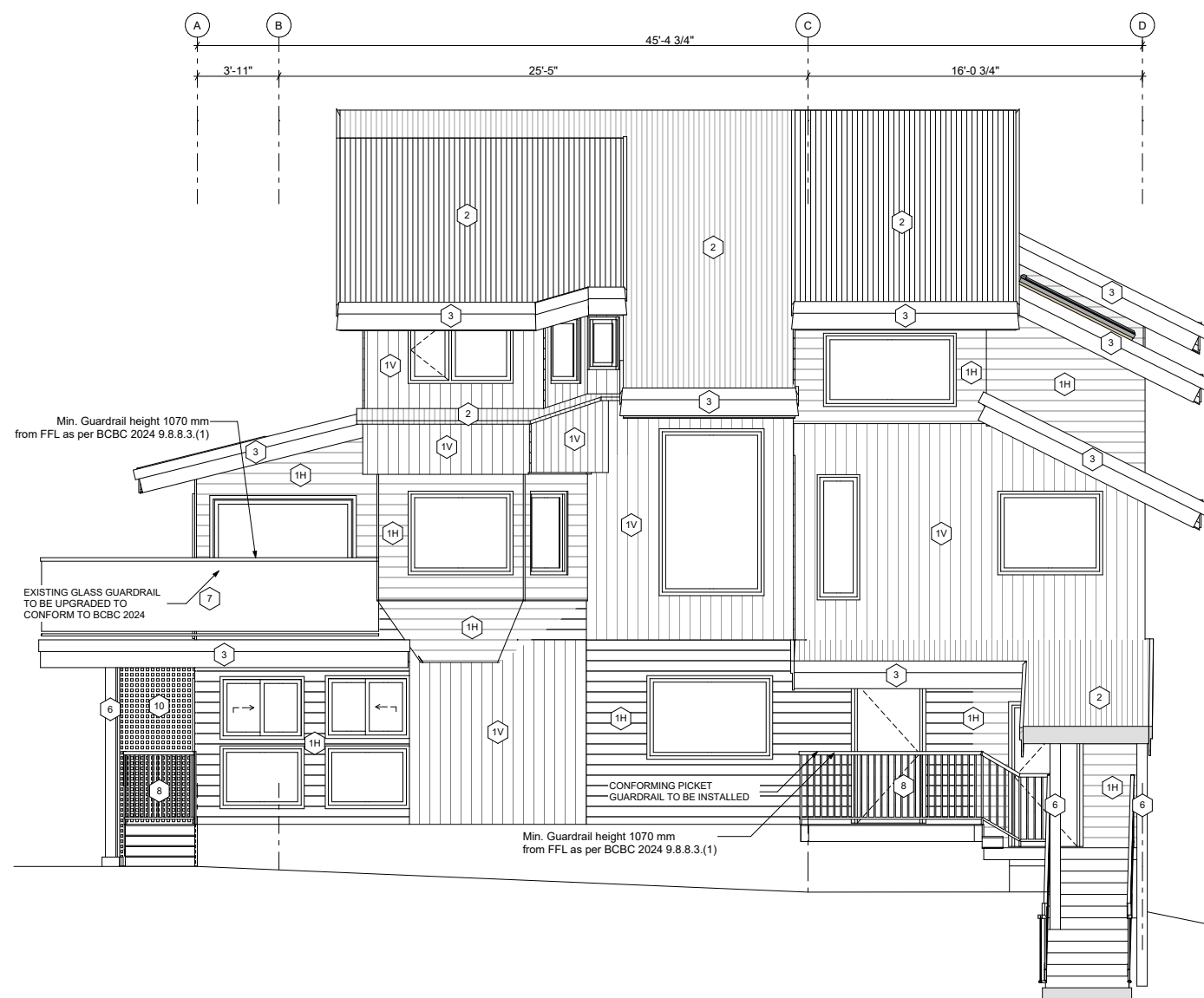
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# A201







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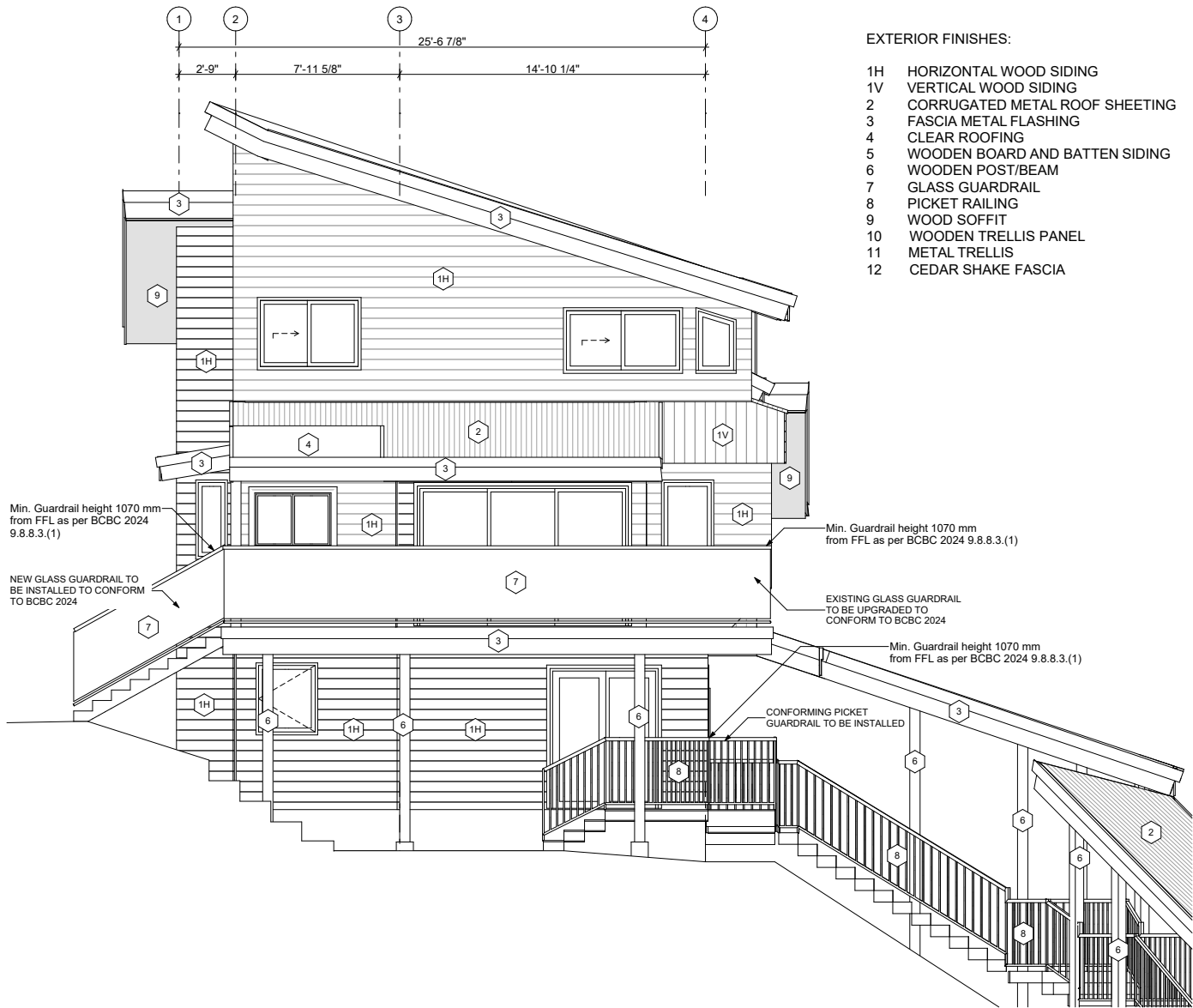
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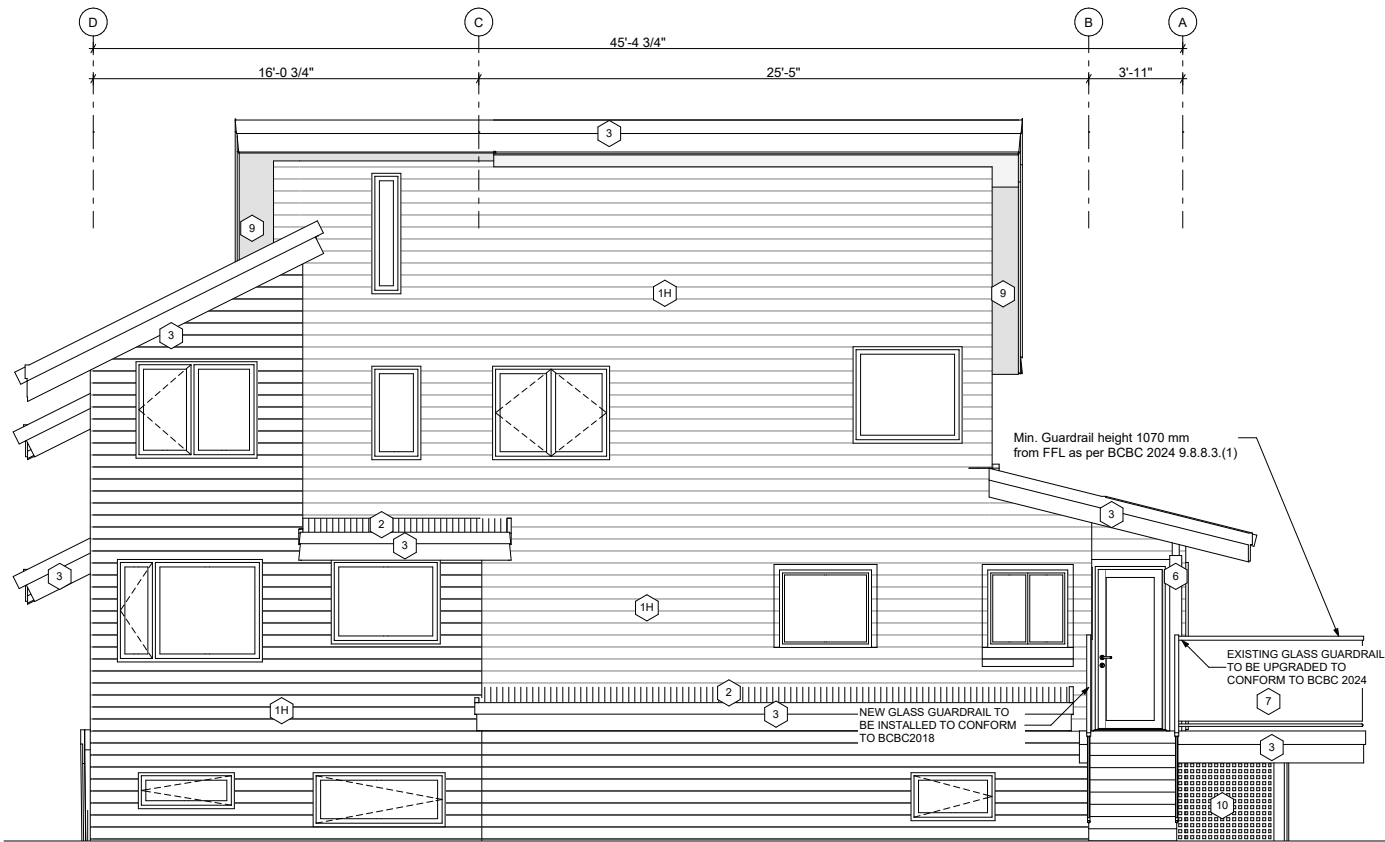
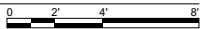
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**2025-09-10**  
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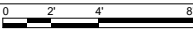
SHEET ID:  
**A202**



1 South Elevation  
A202 SCALE: 1/4" = 1'-0"



2 West Elevation  
A202 SCALE: 1/4" = 1'-0"





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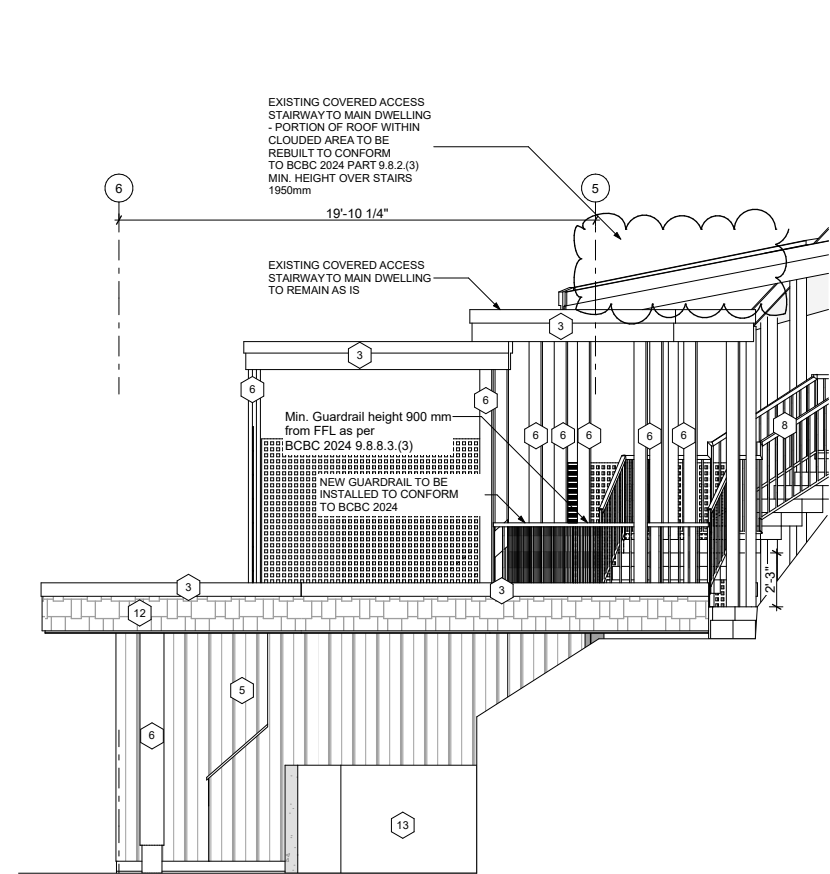
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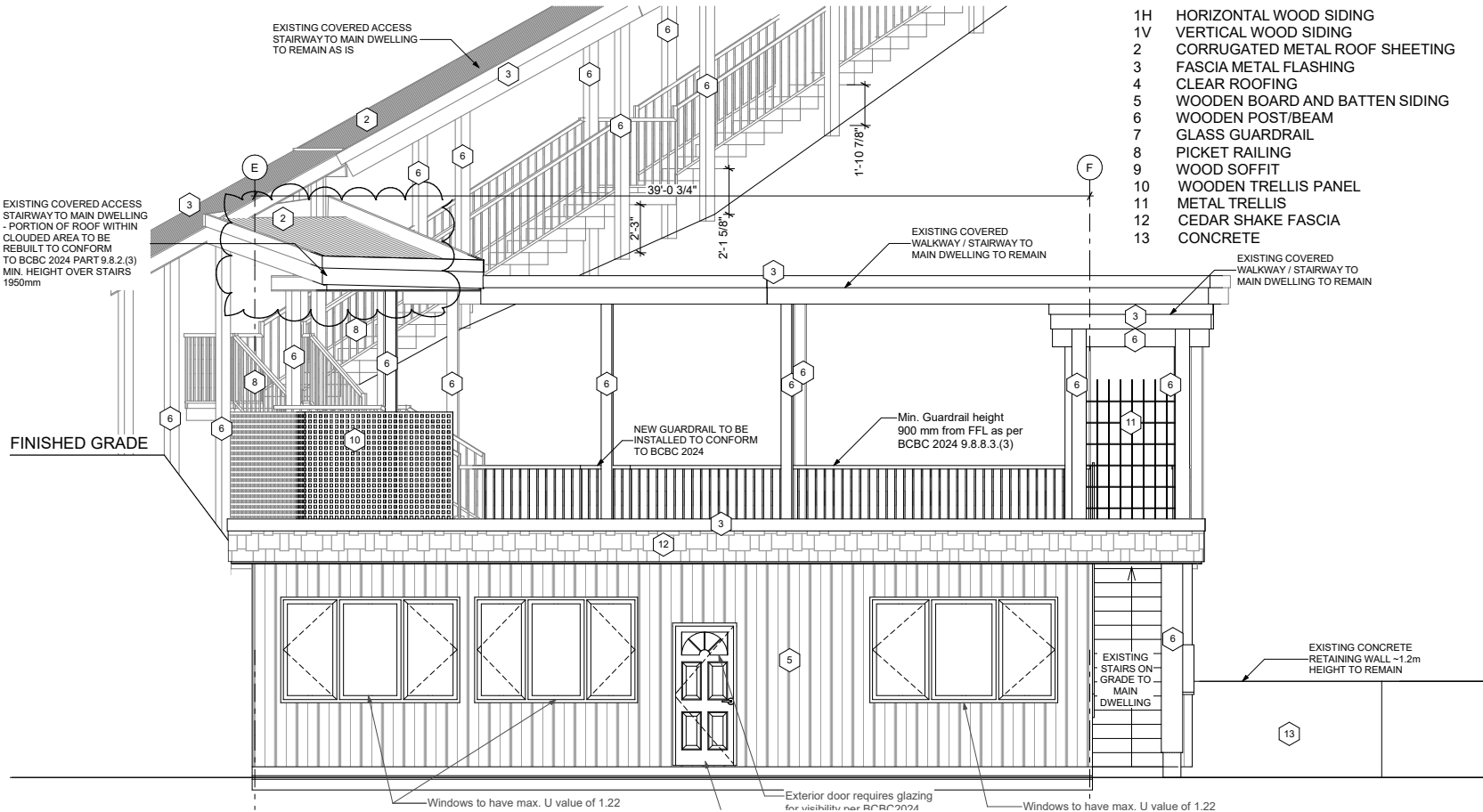
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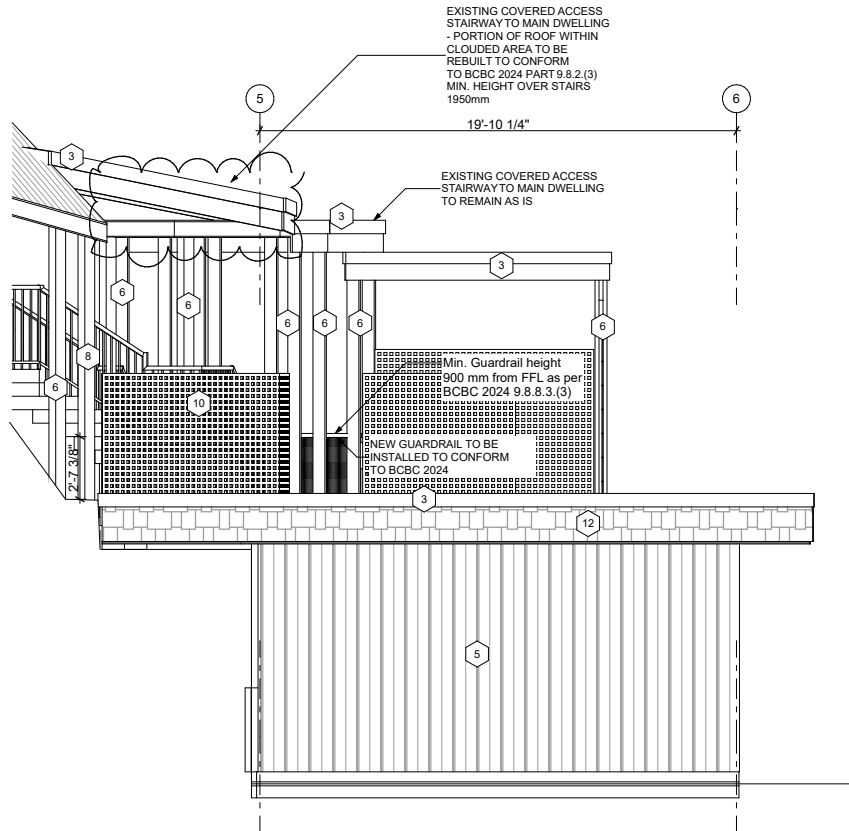
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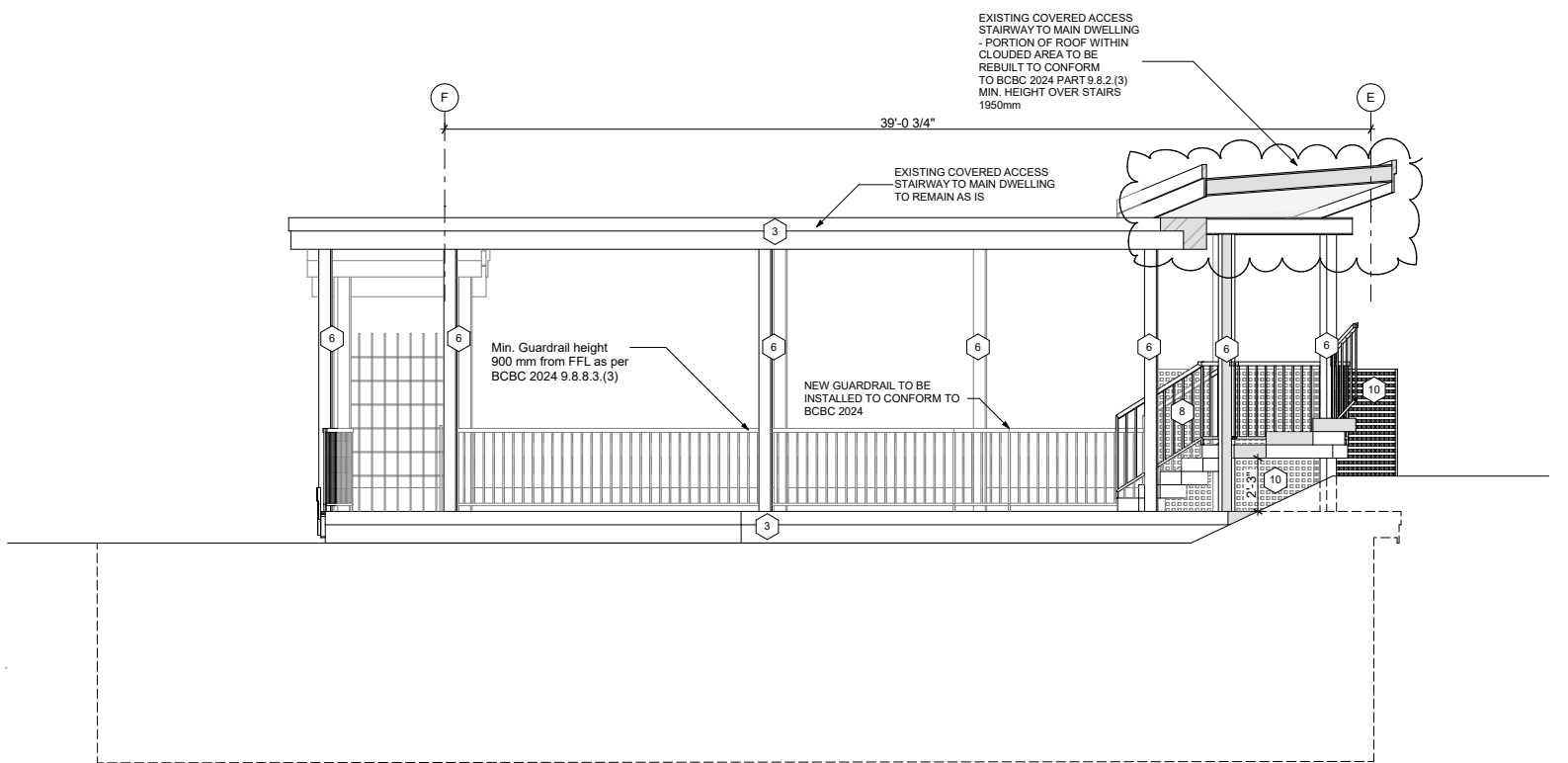
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SCALE: 1/4" = 1'-0"



3  
A203 East Elevation Auxiliary Suite  
SCALE: 1/4" = 1'-0"



2  
A203 South Elevation Auxiliary Suite  
SCALE: 1/4" = 1'-0"



4  
A203 East Elevation Auxiliary Suite  
SCALE: 1/4" = 1'-0"

Issued as part of BP application which is to coordinate with this DVP application



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8576 Drifter Way Whistler BC

This Drawing Set is to be submitted as part of Development Variance Permit 1223 - DVP01223 is applied for in tandem with BP6540/6541 to bring as-built existing non-conforming construction into compliance with BCB2024 and Zoning and Parking Bylaw 303.

Drawing size is 22"x34"  
Prints on 11"x17" are at 50% scale

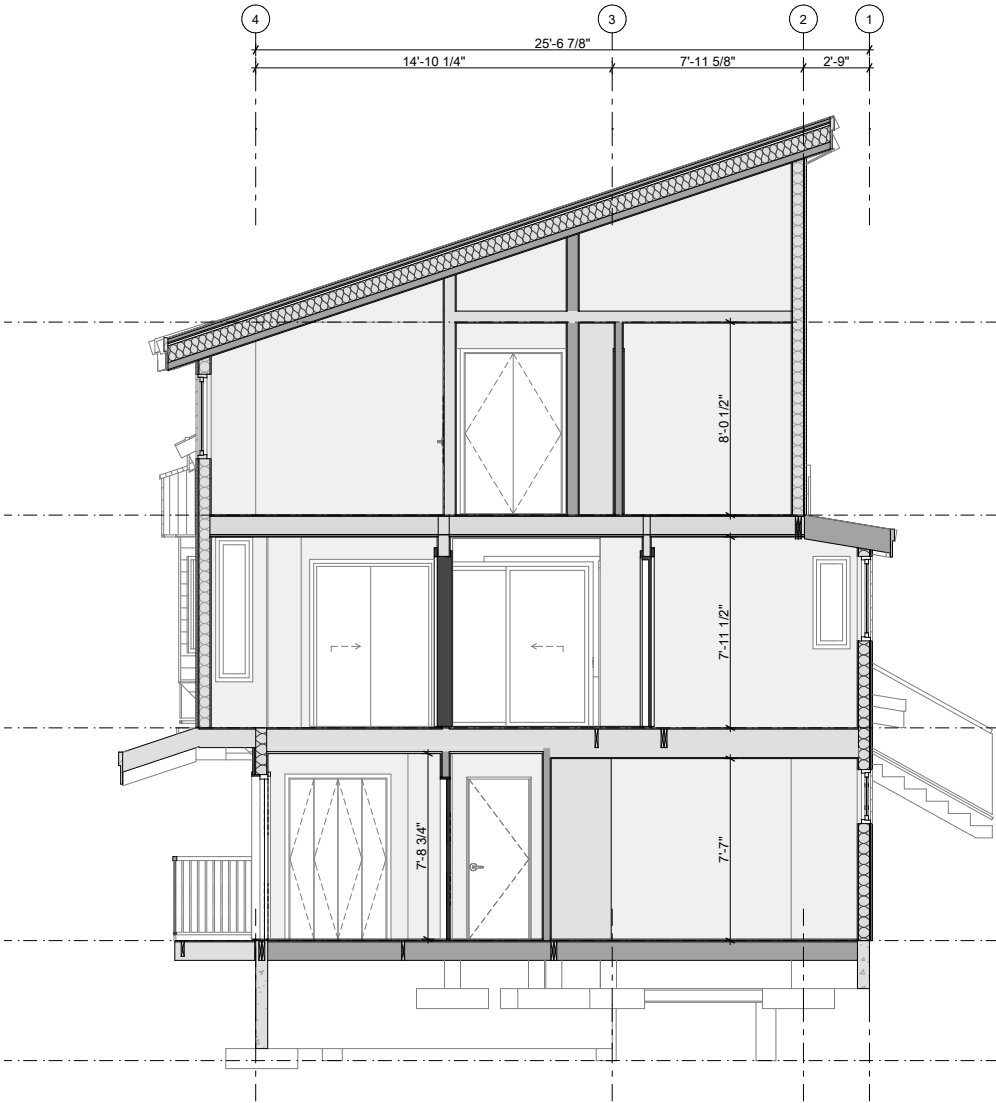
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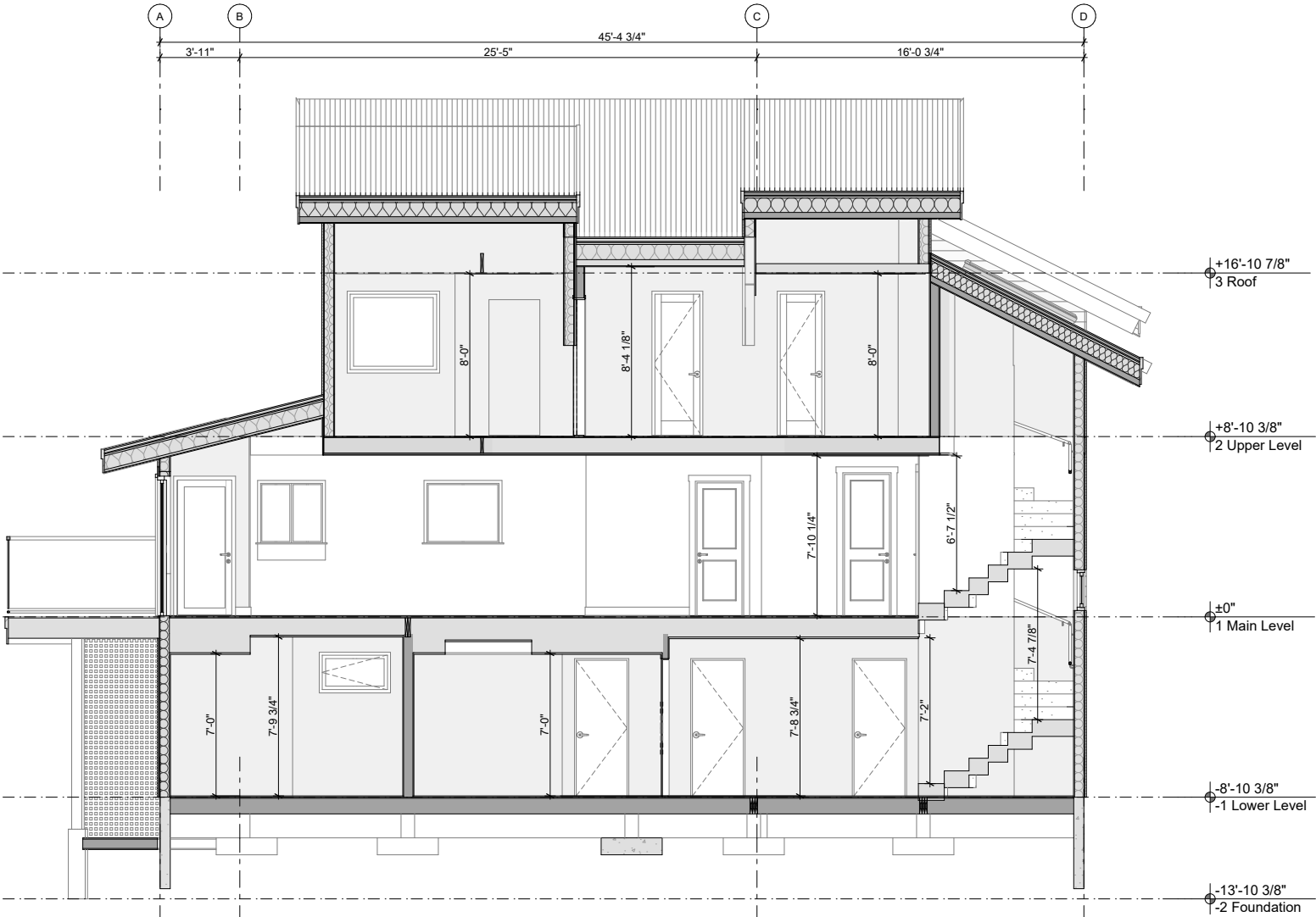
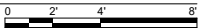
ISSUE:  
**2025-09-10**  
12:31 PM

SHEET TITLE:  
**Sections Main Dwelling**

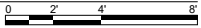
SHEET ID:  
**A302**



1 Section AA  
A302 SCALE: 1/4" = 1'-0"



2 Section BB  
A302 SCALE: 1/4" = 1'-0"





Issued as part of BP application which is to coordinate with this DVP application



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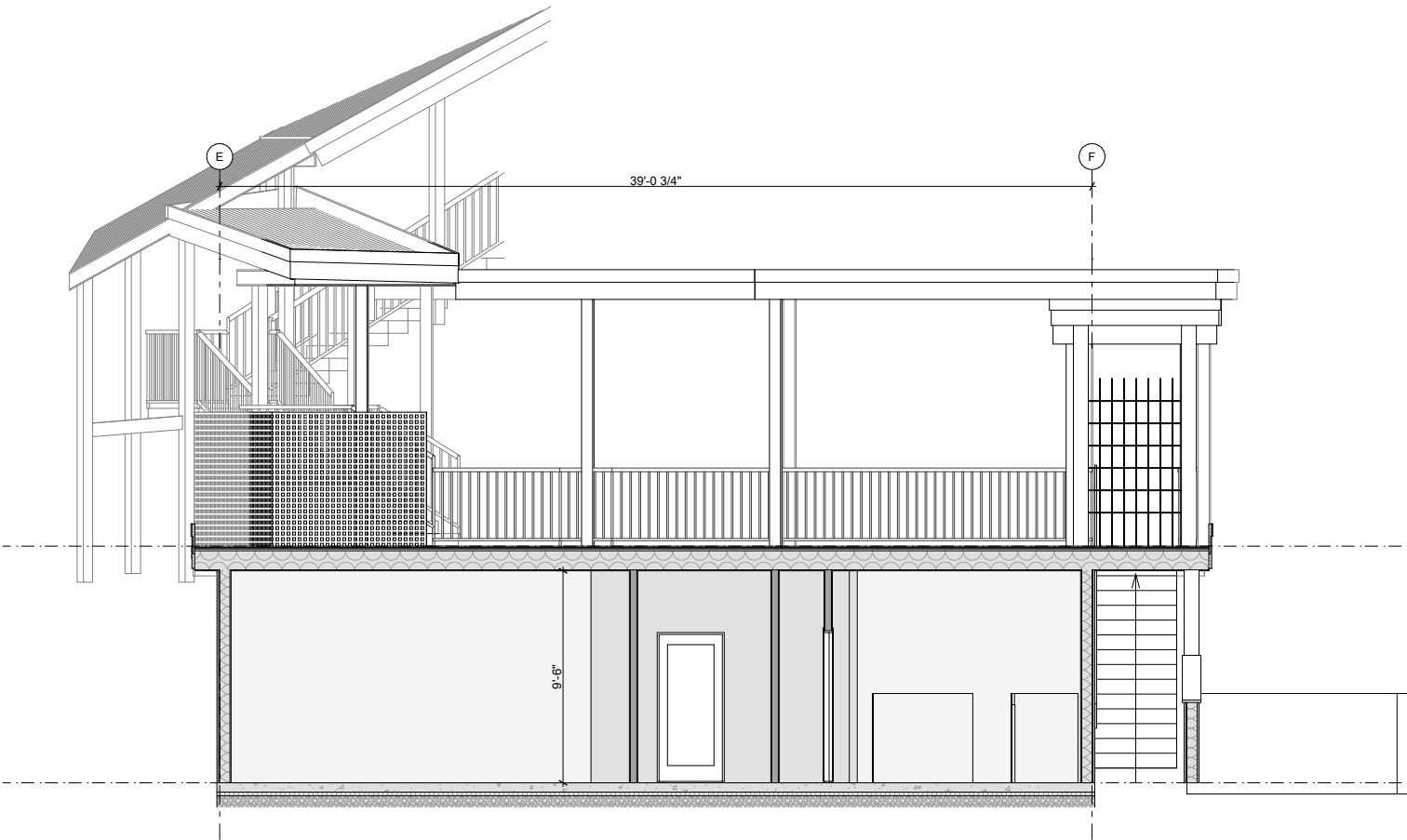
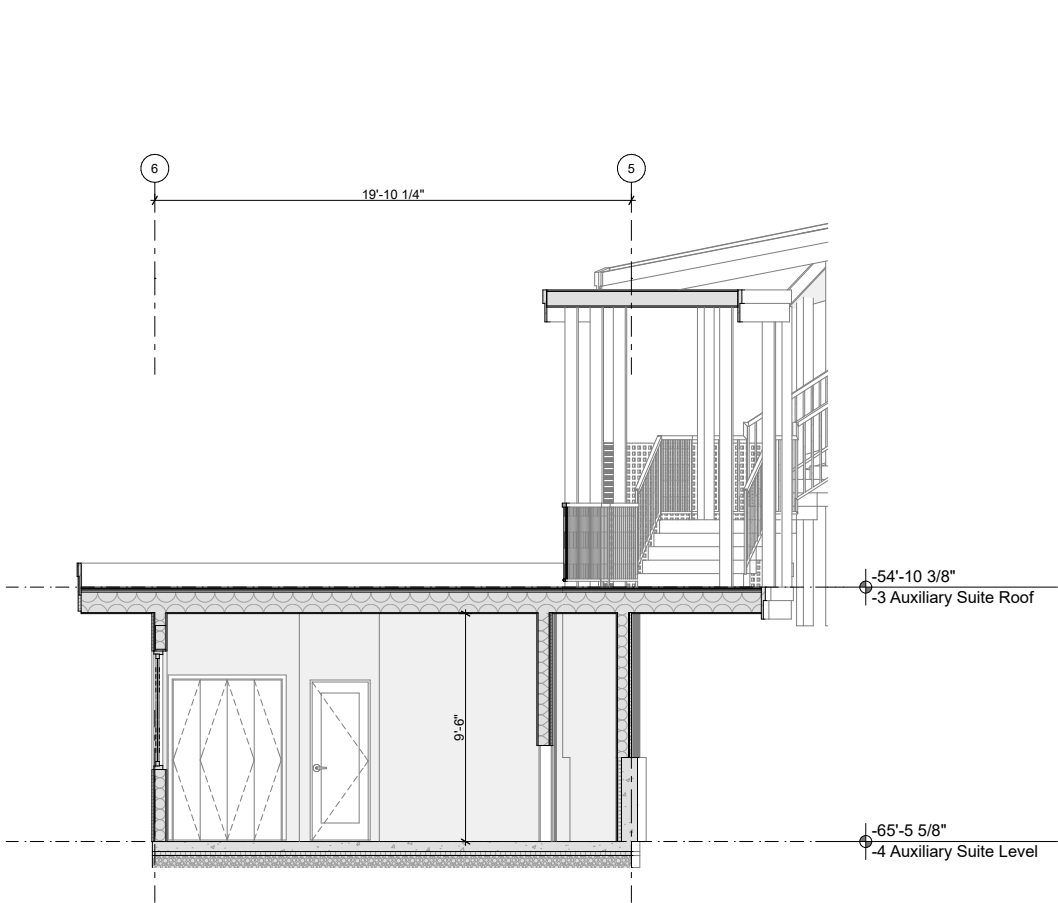
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ISSUE:  
**2025-09-10**  
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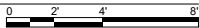
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Sections Auxiliary Suite

SHEET ID:  
**A303**



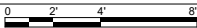
1 Section CC  
A303

SCALE: 1/4" = 1'-0"



2 Section DD  
A303

SCALE: 1/4" = 1'-0"



# Versatile System Solutions

The bicycle locker pioneer: CycleSafe lockers are engineered with high strength poly-resin composites with the high impact resistance of structural steel. The benchmark in secure bicycle parking, CycleSafe offers the most secure, versatile and cost effective bicycle locker to outperform and outlast the competition.

Our quality manufacturing standards produce a rigid structure that ships knocked down in kit form for ease of assembly for reduced freight, or pre-assembled and shipped upon request.

## Product Overview

The ProPark® series by CycleSafe is a modular, interlocking locker system that stores bikes and gear in a weatherproof, fire-retardant, vandal-deterrent structure.

A standard unit has a door on each side with a diagonal interior partition, creating two triangular stalls to stow bikes horizontally with handlebars near the door. This modular system can be configured to meet any site's specifications, designed to be flexible, to accommodate future expansion. Models and features may include:

- Single-Sided Access (limited access)
- Double-Sided Access (standard model)
- CycleSafe Electronic Access Door (long term/short term keyless entry)
- Double-Tier Locker (high capacity)
- Display Side Panels (marketing and communications)
- Storage Bins (cyclists gear)

## Setting the Standard for Secure Bicycle Parking

- Awarded the first bicycle storage patent issued in the U.S.
- Industry's most durable locker, with a 30-plus year proven product life
- Selected by more North American transit agencies, corporations, and institutions than any other cycle storage unit
- Five-year limited warranty
- Manufactured to ISO 9001 and 14000 international quality
- Contributes to LEED certification
- Made in the USA



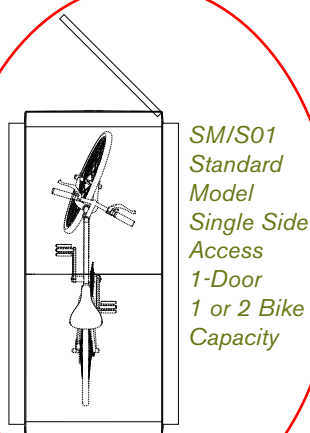
*At a transit hub, on campus, or at the office, CycleSafe lockers promote community health and fitness.*

# Structural Options

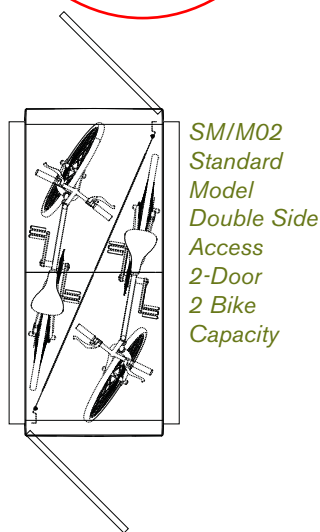
Standard Model SM/M02  
2 Bike Capacity



Standard Model SM/M10  
10 Bike Capacity



SM/S01  
Standard  
Model  
Single Side  
Access  
1-Door  
1 or 2 Bike  
Capacity



SM/M02  
Standard  
Model  
Double Side  
Access  
2-Door  
2 Bike  
Capacity

Since facility needs and requirements vary, CycleSafe offers a full range of models, upgrades, and accessories for our locker system.

## Standard Model (SM)

The industry standard for bicycle commuters, this system accommodates two bicycles, one per door. This Standard model is the basis for all the CycleSafe models and supports the Security and Quality claims. Units are modular and may be expanded or upgraded to accommodate site or program requirements.

## Door-View Model (DV)

The Door View model provides managers the ability to monitor locker contents or usage without allowing a full public view. It features a framed 11" x 11" polycarbonate window in the door.



DV/M02

## Side-View Model (SV)

The end panels on the Side View model have weatherproof, shatterproof polycarbonate inserts 23" x 60" that make the locker contents instantly visible for security purposes – and for locating an available locker. A polycarbonate interior partition allows a clear view through a row of lockers. Perforated metal or other architectural materials may be specified.



SV/M02

## View-Thru Model (VT)

This model offers full view thru, combining a window in the door, end panels and interior partitions to allow full public view of contents and locker availability. Polycarbonate is the standard material for viewing, perforated metal inserts can be substituted for minimizing visibility.



VT/M02

## Double-Tier Model (DT)

The Double Tier model offers maximum space efficiency to double the bike parking capacity by stacking a second locker on top of a lower locker. Similar to lifting a bike on a car roof rack, twice as many lockers can be added without increasing the footprint. The lock mechanism is located at the base of the upper door for easy access. A door check holdback mechanism props the door open for ease of entry. A retrofit kit is available to add double tier units to existing locations. Double Tier units measure approximately 101" in height, and can be specified with Door View windows.



DT/M04

## Single-Side Access Option

If your site plan requires lockers to be placed against a wall due to limited space, choose the Single Sided Access option. Each locker provides parking for one or two bikes, with a fixed rear panel with no interior partition. This model can also be specified with or without windows for viewing contents or locker availability. See chart on page 11 for ordering details.



SM/S01  
Single-Sided Access Option

## Display Panel Options

CycleSafe's display end panels give users unlimited options for integrated communications or architectural enhancements.

- **Communications:** The recessed portion of the end panel (24" x 60") allows you to incorporate promotional messages, including custom logos and transit maps, or to sell revenue-generating ad space. Our most popular design incorporates an aluminum poster grip frame, making it easier to interchange promotional formats. Other display formats include adhesive labels, backlit panels, and programmable LED displays.



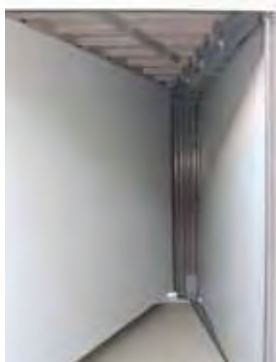
SM/M06 with Wayfinding panel



SM/M08 with Promotional panel

## Interior Partition Options

The standard interior partition is made of SMC or Poly resin composite 3/16th thickness. Other available options include: coated metal partitions or clear polycarbonate.



Interior partition

## Smartloc™ CycleSafe Keyless Access

This CycleSafe Smartloc design provides cyclists user access to lockers with a plethora of benefits.

Smartloc Electronic Access facility manager Benefits:

- Administrative monitoring & reporting
- Revenue generating via hourly, daily, or even monthly use rentals.
- Further revenue opportunities through bike or personal mobility device rentals.
- Automated credit/debit card billing directly to the end user.
- Increased locker occupancy rates by enabling multi-user access to each locker.
- Identify and track users through online membership database.
- Eliminates need for management of door key distribution and locker assignment.

Smartloc Electronic Access end user Benefits:

- Keyless access, on demand use.
- Safe secure and flexible program for parking bikes.
- 24/7 online availability and reservation capabilities.
- Unique key code combinations for each access event.
- Convenient & inexpensive means to protect your valuable bicycle transportation.

For further information contact [info@cyclesafe.com](mailto:info@cyclesafe.com) or your local representative for details.



# Accessories

Outfit your lockers with any number of special features based on site/  
user demands. Options include:



#10635 Door check/holdback kit for propping door open, allowing unrestricted access



#10790 Coat hook, partition mounted, for hanging personal items – (2 double hooks per order)



#10768 Door mounted 4-1/2" x 5" stainless steel louvered vent to reduce heat, mold, mildew in extreme climates.



#19901 - 24" x 60"  
#19905 - 44" x 72"  
PosterGrip® snap-in aluminum frame for displaying ads, maps, etc. on display end panel:



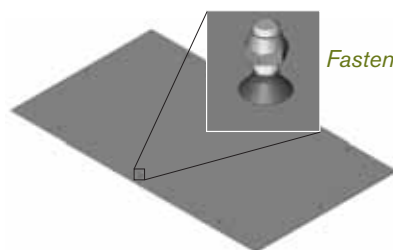
#10789 Door-mounted storage bin for non-View Thru models only



#15800 Power Center – GFI electrical outlet for charging Electric Bikes or other accessories



#10689 Aluminum mounting plate.  
#10755 Interior door brace for asphalt/non-concrete surface



Fastener detail

# 10670 Floor panel, for SM/02

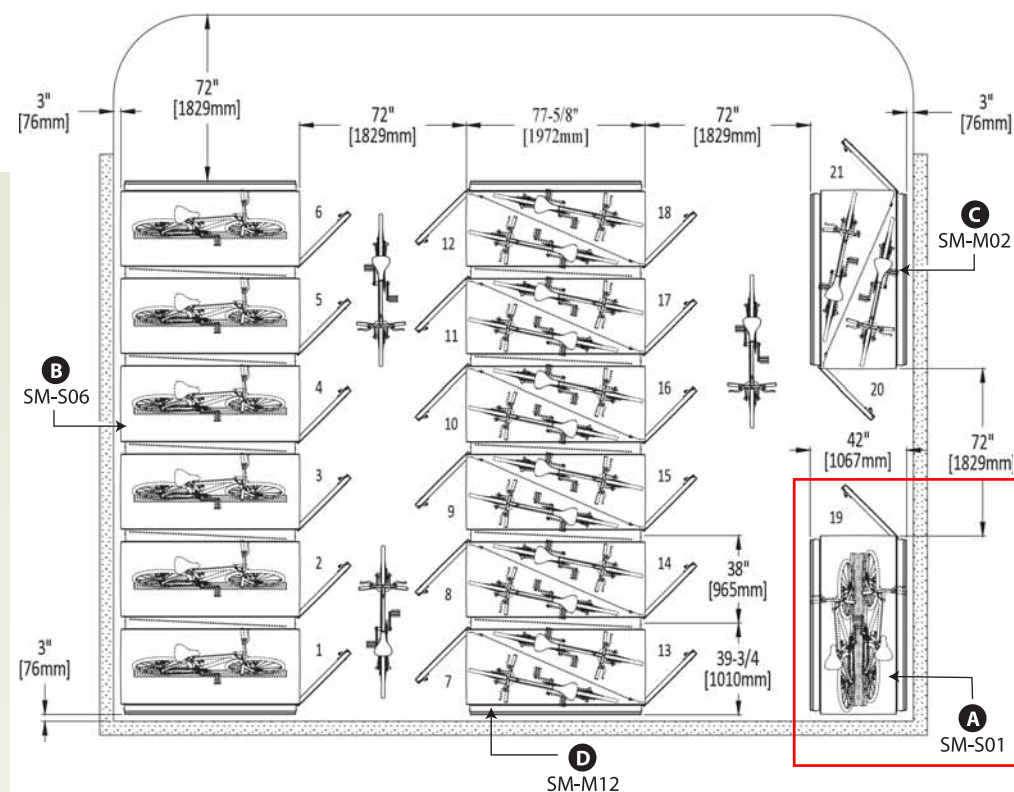


#10709 Bicycle parking decals

Available by special order

- Solar panel kit for electric bike charging station
- #10020 CycleManager® CD-ROM for locker program administration

# CycleSafe ProPark Series Bicycle Locker Layout



## CycleSafe ProPark Series Locker Clearance & Capacities

**A** SM-S01 – one door access for 1-2 bikes

**B** SM-S06 – one door access for 6 bikes

**C** SM-M02 – two door access for 2 bikes

**D** SM-M12 – two door access for 12 bikes

Also available:

DT/SM-M04 – double tier 4 door access for 4 bikes (not shown)

DT/SM-S02 – two door single access for 2 bikes (not shown)

**SM** = Standard Model, Two Door  
**DV** = View Thru Door  
**SV** = Side View  
**VT** = View Thru/Full  
**DT** = Double Tier

All locker systems are 4'2" high x 6'6" deep x length listed in chart below.

S = Single Side Access (1) Door M = Double Side Access (2) Door

| Part #    | Model & Option Description                      |
|-----------|-------------------------------------------------|
| SM-S01    | Standard Model + (1) Door = (1/2) Bike Capacity |
| SM-M02    | Standard Model + (2) Doors = (2) Bike Capacity  |
| DV-M02    | Door-View + (2) Door Access = (2) Bike Capacity |
| SV-M04    | Side-View + (4) Door Access = (4) Bike Capacity |
| VT-M06    | View-Thru + (6) Door Access = (6) Bike Capacity |
| DT/SM-M24 | Double-Tier + (24) Doors = (24) Bike Capacity   |

| Model | Name        | Description               |
|-------|-------------|---------------------------|
| SM    | Standard    | No Windows                |
| DV    | Door-View   | Windows in Doors          |
| SV    | Side-View   | Windows in Sides          |
| VT    | View-Thru   | Windows in Doors & Sides  |
| DT    | Double-Tier | Stacked Lockers & Spacers |

M02 Locker Dims are 50-1/2" OAH x 42" OAW x 77-5/8" OAL

| Part Number | (2) Door Model / Number of Bicycles |    |    |    | Shipping Weight |      |
|-------------|-------------------------------------|----|----|----|-----------------|------|
|             | SM                                  | DV | SV | VT | LB              | KG   |
| M02         | 02                                  | 02 | 02 | 02 | 450             | 204  |
| M04         | 04                                  | 04 | 04 | 04 | 760             | 345  |
| M06         | 06                                  | 06 | 06 | 06 | 1120            | 508  |
| M08         | 08                                  | 08 | 08 | 08 | 1350            | 612  |
| M10         | 10                                  | 10 | 10 | 10 | 1740            | 789  |
| M12         | 12                                  | 12 | 12 | 12 | 1970            | 894  |
| M14         | 14                                  | 14 | 14 | 14 | 2280            | 1034 |
| M16         | 16                                  | 16 | 16 | 16 | 2590            | 1175 |
| M18         | 18                                  | 18 | 18 | 18 | 2900            | 1315 |
| M20         | 20                                  | 20 | 20 | 20 | 3310            | 1501 |
| M22         | 22                                  | 22 | 22 | 22 | 3590            | 1628 |
| M24         | 24                                  | 24 | 24 | 24 | 3870            | 1755 |

| Part Number | Model | Shipping Weight |      |
|-------------|-------|-----------------|------|
|             | DT/   | LB              | KG   |
| M04         | 04    | 912             | 414  |
| M08         | 08    | 1544            | 700  |
| M12         | 12    | 2276            | 1032 |
| M16         | 16    | 2748            | 1246 |
| M20         | 20    | 3540            | 1605 |
| M24         | 24    | 4012            | 1820 |
| M28         | 28    | 4644            | 2106 |
| M32         | 32    | 5276            | 2393 |
| M36         | 36    | 5908            | 2680 |
| M40         | 40    | 6740            | 3057 |
| M44         | 44    | 7312            | 3317 |
| M48         | 48    | 7884            | 3576 |

| Row Length |      |
|------------|------|
| IN         | CM   |
| 43         | 109  |
| 81         | 206  |
| 119        | 302  |
| 157        | 399  |
| 195        | 495  |
| 233        | 592  |
| 271        | 688  |
| 309        | 785  |
| 347        | 881  |
| 385        | 978  |
| 423        | 1074 |
| 461        | 1171 |

| Part Number | (1) Door Option / Number of Bicycles |    |    |    | Shipping Weight |      |
|-------------|--------------------------------------|----|----|----|-----------------|------|
|             | SM                                   | DV | SV | VT | LB              | KG   |
| S01         | 01                                   | 01 | 01 | 01 | 393             | 178  |
| S02         | 02                                   | 02 | 02 | 02 | 646             | 293  |
| S03         | 03                                   | 03 | 03 | 03 | 949             | 430  |
| S04         | 04                                   | 04 | 04 | 04 | 1122            | 509  |
| S05         | 05                                   | 05 | 05 | 05 | 1455            | 660  |
| S06         | 06                                   | 06 | 06 | 06 | 1628            | 738  |
| S07         | 07                                   | 07 | 07 | 07 | 1881            | 853  |
| S08         | 08                                   | 08 | 08 | 08 | 2134            | 968  |
| S09         | 09                                   | 09 | 09 | 09 | 2387            | 1083 |
| S10         | 10                                   | 10 | 10 | 10 | 2740            | 1243 |
| S11         | 11                                   | 11 | 11 | 11 | 2963            | 1344 |
| S12         | 12                                   | 12 | 12 | 12 | 3186            | 1445 |

| Part<br>Number | Model | Shipping Weight |      |
|----------------|-------|-----------------|------|
|                | DT/   | LB              | KG   |
| S02            | 02    | 798             | 362  |
| S04            | 04    | 1316            | 596  |
| S06            | 06    | 1934            | 877  |
| S08            | 08    | 2292            | 1040 |
| S10            | 10    | 2970            | 1347 |
| S12            | 12    | 3328            | 1510 |
| S14            | 14    | 3846            | 1745 |
| S16            | 16    | 4364            | 1980 |
| S18            | 18    | 4882            | 2214 |
| S20            | 20    | 5600            | 2540 |
| S22            | 22    | 6058            | 2748 |
| S24            | 24    | 6516            | 2956 |

| Row Length |      |
|------------|------|
| IN         | CM   |
| 43         | 109  |
| 81         | 206  |
| 119        | 302  |
| 157        | 399  |
| 195        | 495  |
| 233        | 592  |
| 271        | 688  |
| 309        | 785  |
| 347        | 881  |
| 385        | 978  |
| 423        | 1074 |
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