



THE RESORT MUNICIPALITY OF WHISTLER

4325 Blackcomb Way
Whistler, BC Canada V0N 1B4
www.whistler.ca

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DEVELOPMENT VARIANCE PERMIT APPLICATION

Resort Experience, Planning Department
Tel 604-935-8170 (direct) Fax 604-935-8188
Email: planning@whistler.ca

Application Number**DVP** _____

Work Order _____

Received by _____

(OFFICE USE ONLY)

Subject Property Street Address: 8576 Drifter Way

Legal Description P.I.D. 008-744-653 Lot 30 D.L. 7251
Plan 13066 Block _____ Zoning R11

Name of Registered Owner: Tommy Marven Syer & Tamara Maureen LittleMailing Address: [REDACTED]City: [REDACTED] Province: [REDACTED] Postal Code: [REDACTED]Phone: [REDACTED] Cell: [REDACTED] Email: [REDACTED] Fax: _____**Name of Applicant/Agent:** GNAR IncMailing Address: Unit 206, 1420 Alpha Lake RoadCity: Whistler Province: BC Postal Code: V8E0R8Phone: 604-962-1611 Cell: 778 833 4627 Email: info@gnarinc.com Fax: n/a**SUBMITTAL REQUIREMENTS**

- ☐ Application Fee of \$450.00
- ☐ Title Search (issued not more than 30 days from the date application is received) OR \$21 Title Search Fee in lieu (per P.I.D.)
- ☐ Written description of the proposal, and the specific site characteristics or other unique circumstances for requiring a variance
- ☐ Strata authorization on form attached (as may be required)
- ☐ One hard copy plus a PDF of scalable and fully dimensioned plans, elevations, sections, as necessary to illustrate the requested variance(s). Clearly identify and label each variance request on the site plan. Scale of 1:200 (minimum) or imperial equivalent. If imperial equivalent any dimensions must be labelled in both imperial and metric.
- ☐ Any further information necessary for the processing of this application

Application Fee: \$450.00**Title Search: \$21.00 (per P.I.D.)** ☐ Y ☒ N

AUTHORIZATIONS

I Tom Syer and Tamara Little authorize GNAR Inc
(PRINT NAME of registered owner) (PRINT NAME of agent/person authorized to sign the application)

to act as agent and sign the application form to the Resort Municipality of Whistler on my/our behalf for the property known as
8576 Drifter Way
(Civic address of property)

10/6/2021 | 3:58 PM PDT [Signature] 10/4/2021 | 8:16 PM PDT [Signature]
Signature(s) of registered owner(s) Date

Signature(s) of Signing Officer(s) of Corporation Corporate Seal(s), if applicable Date

PROPERTY OWNER’S AGREEMENT

As of the date of this application, I am the registered owner of the lands described in the application. I have examined the contents of the application, certify that the information submitted with it is correct insofar as I have knowledge of these facts, and concur with the submission of the application. I acknowledge that the lands described in the application may be subject to applicable laws, regulations, and guidelines including, but not limited to, the Resort Municipality of Whistler Zoning and Parking Bylaw No. 303, 2015 and the *Local Government Act*. I agree to comply with all provisions of the Resort Municipality of Whistler Zoning and Parking Bylaw No. 303, 2015 and any other applicable legislation, if this application is approved. I understand that approval does not constitute a building permit and that drawings submitted for a building permit must match the approved Development Permit drawings.

10/6/2021 | 3:58 PM PDT [Signature] 10/4/2021 | 8:16 PM PDT [Signature]
Signature of property owner Date

PAYMENT OF FEES

Enclosed is the fee for this application. I agree to pay any further costs (e.g., processing fees for professional and clerical staff time, legal and/or consultant fees, advertising expenses and miscellaneous disbursements at cost), which may be determined as this application is reviewed. Prior to the issuance of a development permit for the above noted property, the Resort Municipality of Whistler requires a commitment that all further expenses incurred by the Resort Municipality of Whistler will be paid within 30 days of billing.

BILLING DETAILS Name: [Redacted]
Address: [Redacted]
City: [Redacted] Province: [Redacted] Postal Code: [Redacted]
Phone: [Redacted] Cell: [Redacted] Email: [Redacted]

Your signature below will stand as your commitment to pay all applicable invoices.

10/6/2021 | 3:58 PM PDT [Signature] 10/4/2021 | 8:16 PM PDT [Signature]
Signature of owner of applicant Date

DECLARATION

I Tom Syer and Tamara Little, solemnly declare that the statements made
(PRINT NAME)
by me upon this application are to the best of my belief and knowledge a true and complete representation of the purpose and intent of this application.

10/6/2021 | 3:58 PM PDT [Signature] 10/4/2021 | 8:16 PM PDT [Signature]
Signature of applicant or agent Date

Personal information is being collected under the authority of the *Local Government Act* for the purpose of processing this application. This information is protected under the privacy provisions of the *Freedom of Information and Protection of Privacy Act*. If you have any questions about the collection of this information, contact the Director of Planning at 604-935-8170, Resort Municipality of Whistler, 4325 Blackcomb Way, Whistler, BC V0N 1B4.

RATIONALE FOR DELEGATED DEVELOPMENT VARIANCE PERMITS

DESCRIPTION OF DEVELOPMENT AND VARIANCE(S)	
(Complete for ALL applications)	
Description of proposed development	
Specify each proposed variance	
Specify site characteristics and/or other unique circumstances for requiring variance(s).	
EVALUATION CRITERIA	
(Complete for ALL applications)	
1. The variance should be consistent with the goals, objectives and policies in the Official Community Plan and any other relevant Council-approved municipal policy documents.	
2. The variance application should be supported by a sound justification based on the applicant's inability to reasonably develop the site in an efficient and effective manner while complying with bylaw requirements, or on the provision of a benefit to the community or adjacent properties in the form of a preferable development outcome that is attributable to the variance.	
3. The variance should not defeat the express or implicit intent of the bylaw requirement or restriction being varied.	
4. The variance should not impose any additional costs on the Resort Municipality such as additional cost to provide services to the development site or adjacent properties.	
5. The variance should not create or exacerbate any risk to public safety.	
6. The variance should enable the applicant's development to do one or more of the following:	
a. Complement the streetscape or neighbourhood;	
b. Work with the topography of the site without major site preparation or earthworks;	

c. Maintain or enhance desirable site features such as natural vegetation, trees and rock outcrops;	
d. Use superior building siting in relation to light access, reducing building energy requirements;	
e. Use superior building siting in relation to the privacy of occupants and neighbours; and	
f. Preserve or enhance views from neighbouring buildings and sites.	
7. The variance should not result in a significant negative impact on the streetscape or neighbourhood and should incorporate mitigation measures to reduce any identified negative impact. Potential negative impacts to be considered include:	
a. Inconsistency of the development with neighbourhood character;	
b. Increased apparent building bulk as viewed from the street or surrounding neighbourhood;	
c. Extensive additional site preparation or earthworks;	
d. Substantial impact on the use or enjoyment of adjacent land such as reduction of sunlight access or privacy or obstruction of views; and	
e. Impact on services such as roads, utilities and snow clearing operations.	

ADDITIONAL EVALUATION CRITERIA FOR PARTICULAR TYPES OF DELEGATED DVPs.
(Complete if relevant to application)

8. Sign Regulations	
a. A variance of the number, size or location of signs should not result in a significant increase in the total number or sign area of on- site signage or disrupt the aesthetic character of the development or adjacent neighbourhood.	
b. A variance should not adversely impact neighbouring properties, for example by increasing exposure to artificial light.	
9. Off-Street Parking Design Standards	
a. A variance of the design standard for off-street parking spaces should not create or exacerbate any safety hazard related to the operation of motor vehicles or other forms of transportation.	
10. Solid Waste Separation and Storage Facility Regulations	
a. A variance should not be approved without consultation with the operator of the facility and the municipal engineer to ensure operational feasibility.	
b. A variance should not result in an increase in disruptive intermittent noise affecting building occupants or neighbours.	
11. Building Siting Regulations	
a. A variance should not reduce the livability of existing residential units or units in the development. The applicant should demonstrate with appropriate drawings and calculations that the variance would not significantly interfere with privacy or access to sunlight.	
12. Building Height Regulations	
a. The variance application should be supported with drawings and calculations illustrating shadow and view impacts of the proposed variance, including impacts on public spaces such as parks and green spaces.	
b. The application should be assessed in relation to compatibility with both existing adjacent uses and uses permitted or contemplated by the <i>Zoning Bylaw</i> and the <i>Official Community Plan</i> .	



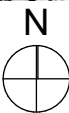
1
A001 3D Architectural Perspective B&W
SCALE: 1:51.92



Aerial photo of existing site showing site conditions, siting and slope etc



2
A001 Site Location Plan
SCALE: 1:1.33



Project Team

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Contact: Jeremy Childs

Property Information

Project Type: Renovation / Addition / Legitimization - BP Application

Owners: Tom Syer and Tamara Little

Site Address: 8576 Drifter Way Whistler BC

Legal Description: Lot 30 District Lot 7251 Plan 13066

Parcel Identifier: 008-744-653

Zoning: R11

Setbacks: Side 3 m, Rear 7.6 m, Front 7.6 m (See variances below)

Building Height: Proposed = 8.1m; Max permitted = 7.6 m (see variances)

Lot Area: 965.1 sqm

Site Coverage Ratio = 160.12 sqm / 965.1 sqm = 16.59%

Gross Floor Area = 325.04 sqm

Floor Space Ratio = 325.04 sqm / 965.1 sqm = 33.68%

Development Variance Permit List of Variances Requested: (Refer to Appendix A006 for photographs of requested variance areas): DVP01223

- Parking:**
1: Reduce the amount of required on-site parking spaces from three to two.
Auxiliary Residential Dwelling:
2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.
Auxiliary Bike Storage Units:
3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units.
Detached Main Dwelling:
4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)
Landscape Stairs:
5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022.
Parking:
6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.
7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.
Detached Main Dwelling:
8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.
9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting

Variances 1-5 are non-delegated, variances 6-9 are delegated.

General Notes

1. All work shall conform to Part 9 of the BC Building Code 2024 Major Occupancy C and all other applicable codes and ordinances.
2. Do not scale drawings: use calculated dimensions only. Verify existing "as-built" dimensions as req'd. All dimensions are to face of stud unless noted otherwise.
3. Verify all rough-in dimensions and locations for equipment, fixtures etc. Provide all blocking, buck-outs, backing and jacks required for installation.
4. All wood in contact with concrete to be pressure treated.
5. All flashing to be galvanized, galvalume or factory finish to be approved by architect and owner.
6. Contractor shall verify all existing conditions prior to initiating any portion of the work.
7. Provide all protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect components to remain.
8. Stair and guardrail openings to be less than 4".
9. Tight line all affected drainage to approved drainage system.
10. All framing to be properly caulked, sealed, gasketed or otherwise treated to minimize air infiltration prior to sheathing and finishing.
11. All (new) smoke detectors to be hardwired to home's electrical system.

Sheet Index

DVP Drawings Set

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| A010 | GFA and Roof Height Calculation |
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| A106 | Upper Level Plan |
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|------|--------------------------|
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Scope of Work For Build Permits 006540/006541: All work to be completed in tandem with code consultant review* To be submitted under Small-Scale Multi-Unit Housing (SSMUH)

1. Demolish roof deck use above garden suite, return to roof only
2. Install conforming guardrail to restrict further access to roof
3. Demolish multiple non-conforming shed structures throughout
4. Install conforming handrail on access stairs where required.
5. Provide adequate clear headroom on access stairs. Install slip resistant nosings or other stair applications on access stairs.
6. Legitimize existing non-permitted floor area.
7. Install/verify/repair fire separation of as-built suites
8. Install conforming lighting on access stairs.
9. Renovate kitchen & main bathroom as per drawings.
10. Replace inoperable smoke alarms throughout.
11. Existing operable windows are recommended to have window opening restrictors installed so that the window opening will not exceed 100mm in width.
12. Demolish storage walls to reduce overall GFA to what is permitted by zoning.
13. Resolve any other non-conforming items identified on site in collaboration with the Code Consultant and RMOW.



Drawings and Specifications as instruments of service are and shall remain the property of Global Network Resources (GNAR Inc.). They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation.

The General Contractor is responsible for confirming and correlating dimensions at the job site. GNAR Inc will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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PROJECT:
H69 - 8576 Drifter Way
8576 Drifter Way Whistler BC

This Drawing Set is to be submitted as part of Development Variance Permit 1223 - DVP01223 is applied for in tandem with BP6540/6541 to bring as-built existing non-conforming construction into compliance with BCB2024 and Zoning and Parking Bylaw 303.

Drawing size is 22"x34"
Prints on 11"x17" are at 50% scale

This submission is provided for permitting purposes. For construction, refer to the Issued for Construction version of these plans and supporting documents.

ISSUE:
#01 - ISSUED FOR DEVELOPMENT VARIANCE PERMIT

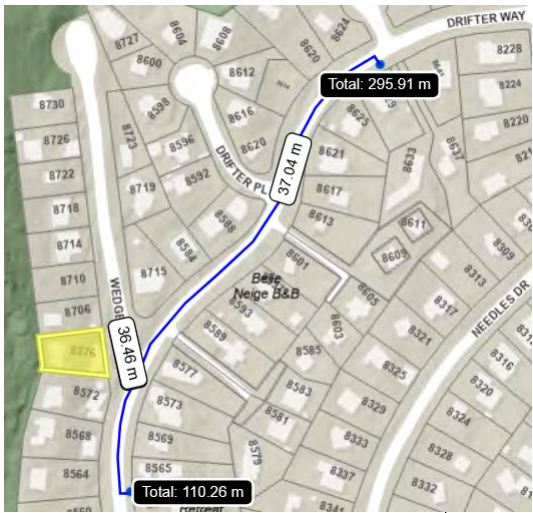
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SHEET TITLE:
Cover Sheet and Site Location Plan

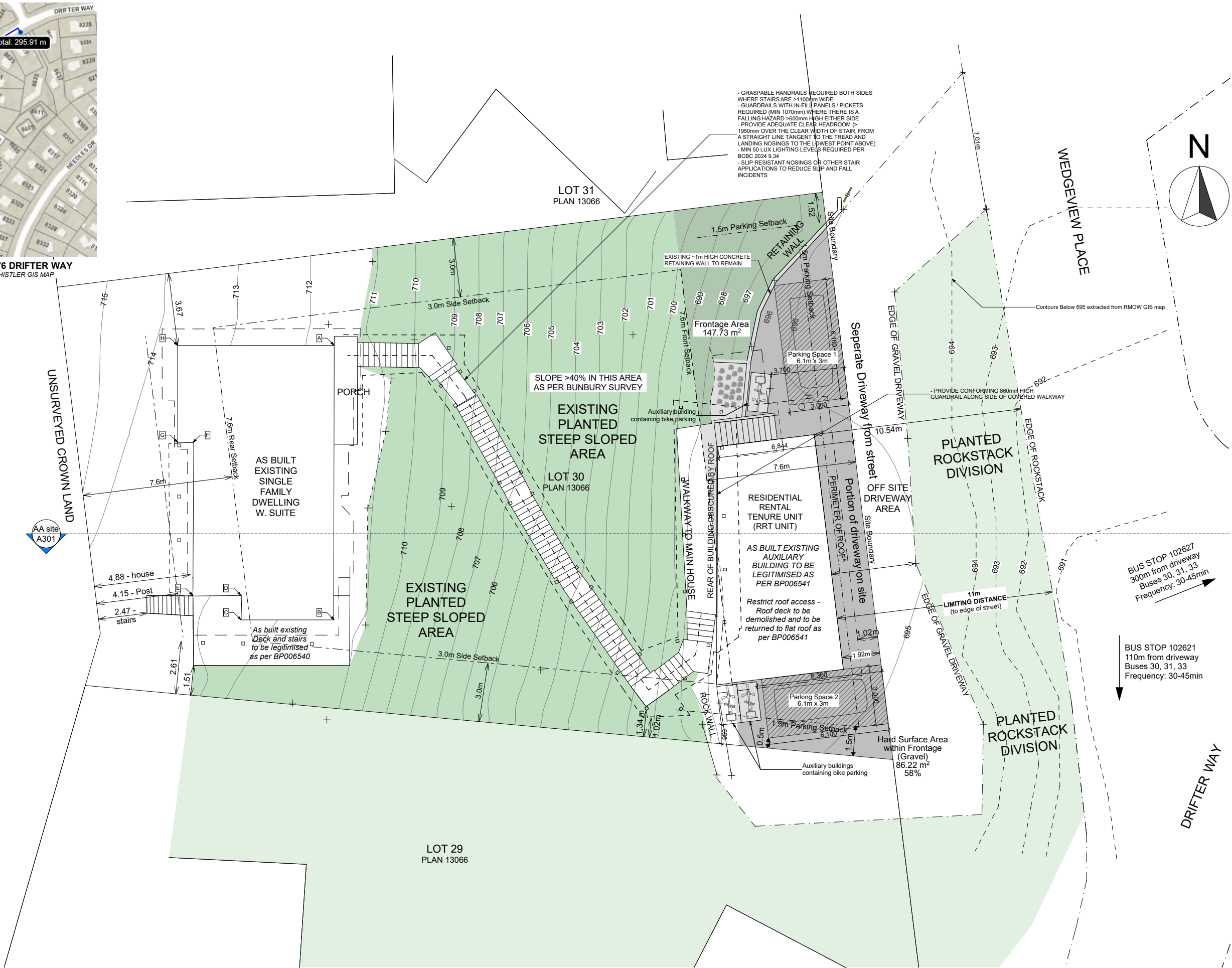
SHEET ID:
A001



A002



BUS STOP DISTANCES FROM 8576 DRIFTER WAY
AS PER MEASURED DISTANCES FROM WHISTLER GIS MAP





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ISSUE:
2025-09-10
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SHEET TITLE:
Site and Service Plan - Proposed

SHEET ID:
A004

Development Variance Permit List of Variances Requested: (Refer to Appendix A006 for photographs of requested variance areas):

Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.

1: Reduce the number of required on-site parking spaces from three to two.

Auxiliary Residential Dwelling: AS BUILT LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION

2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.

Auxiliary Bike Storage Units: LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION

3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units

Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007

4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)

Access Stairs: NECESSARY ACCESS STAIRS MEANDERING UP THROUGH SITE DUE TO DIFFICULT STEEP SLOPED SITE AS IS COMMON ON DRIFTER WAY/WEDGEVIEW PLACE.

5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022

Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.

6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.

7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.

Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007

8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.

9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting

Variances 1-5 are non-delegated, variances 6-9 are delegated.

"Access Stairs" - due to existing steep sloping site condition - centerline height less than 1m above siting at all points

3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units

6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.

1: Reduce the amount of required on-site parking spaces from three to two.

Perimeter of Roof

Parking Setback

As per BP006541: Install 900mm (as per BCBC2024) guardrail along side of covered walkway to restrict roof access. Roof deck to be demolished and to be returned to flat roof

3x CycleSafe ProPark Series Bike Locker - Standard Model (or similar) 1-2 bike capacity per locker, storage for up to 6 bikes total - see appendix for additional info

2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.

6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.

7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2

Access stairs projects 1.5m into side setback which is permitted by the Zoning Bylaw to be set back at least 1 metre from any side parcel line

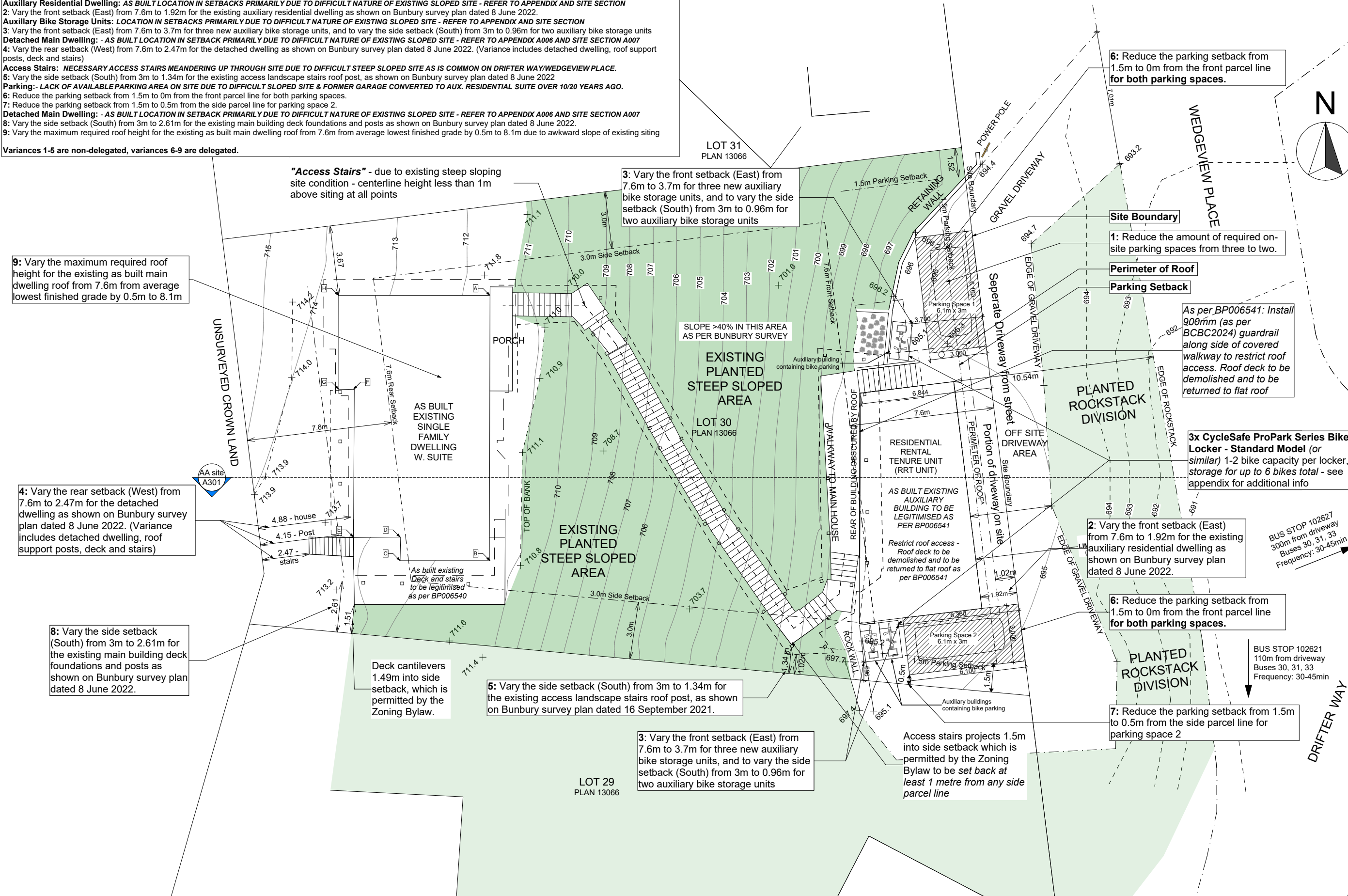
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5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 16 September 2021.

8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.

4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)

9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m



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ISSUE:

#01 -
ISSUED FOR DEVELOPMENT
VARIANCE PERMIT

ISSUE:

2025-09-10
12:29 PM

SHEET TITLE:

Site Plan with Variances

SHEET ID:

A005

Parking:
1: Reduce the amount of required on-site parking spaces from three to two.
6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.
7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.

Auxiliary Residential Dwelling:
2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxiliary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.

Auxiliary Bike Storage Units:
3: Vary the front setback (East) from 7.6m to 3.7m for three new auxiliary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxiliary bike storage units.



a) Parking Space 1



b) Parking Space 2



c) Front Rockstack Division



d) Auxiliary Garden suite and driveway



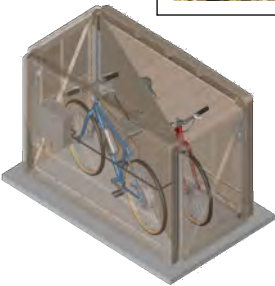
e) Auxiliary Garden suite, driveway and parking space 2



f) steep sloping front of site



g) 3 Proposed CycleSafe ProPark Series Bike Locker - Standard Model (or similar) storage for up to 6 bikes total - Example of secured and covered bike parking/locker with e-bike charging outlet to assist with parking reduction



Detached Main Dwelling:
4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)
8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.
9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting - refer to DVP-A07 - Site Section



h) Side of Main dwelling (trellace to be removed) posts, deck etc for variance



j) As built Rear deck and stairs



i) As built Rear deck and stairs



k) As built shelter structure for requested variance



l) As built Rear of main house, deck and stairs, roof, posts etc for variance request

Access Stairs:
5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022.



m) Access Stair Posts, roof etc - section for variance



o) Access Stair Posts, roof etc



n) Access Stairs condition



p) Aerial photo of existing site showing site conditions, siting and slope etc



q) Aerial photo of existing site



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**#01 -
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VARIANCE PERMIT**

ISSUE:

**2025-09-10
12:29 PM**

SHEET TITLE:

**Appendix for Site Plan
with Variances**

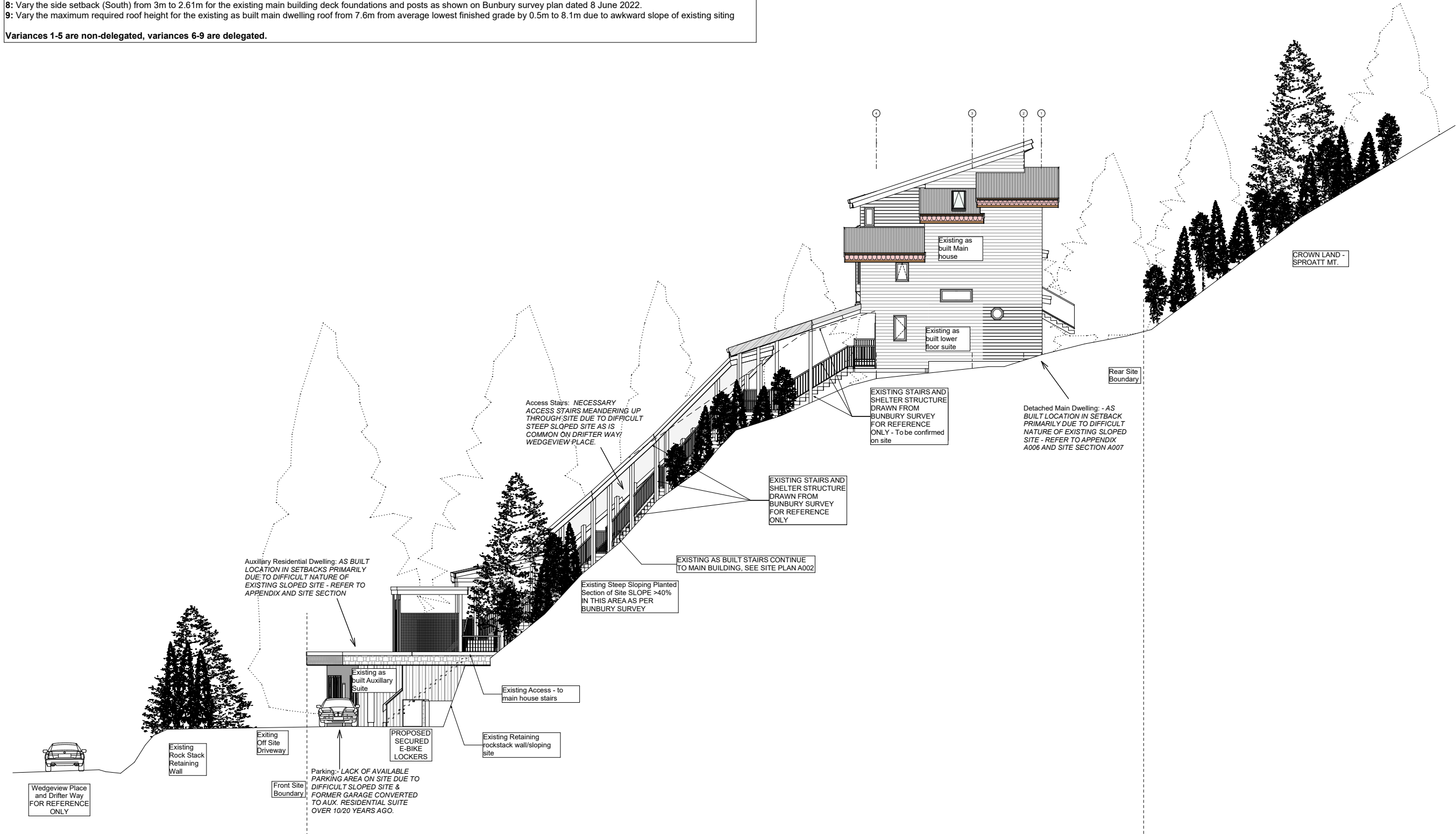
SHEET ID:

A006

Development Variance Permit List of Variances Requested: (Refer to Appendix A006 for photographs of requested variance areas):

- Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.**
1: Reduce the number of required on-site parking spaces from three to two.
Auxillary Residential Dwelling: AS BUILT LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION
2: Vary the front setback (East) from 7.6m to 1.92m for the existing auxillary residential dwelling as shown on Bunbury survey plan dated 8 June 2022.
Auxillary Bike Storage Units: LOCATION IN SETBACKS PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX AND SITE SECTION
3: Vary the front setback (East) from 7.6m to 3.7m for three new auxillary bike storage units, and to vary the side setback (South) from 3m to 0.96m for two auxillary bike storage units
Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007
4: Vary the rear setback (West) from 7.6m to 2.47m for the detached dwelling as shown on Bunbury survey plan dated 8 June 2022. (Variance includes detached dwelling, roof support posts, deck and stairs)
Access Stairs: NECESSARY ACCESS STAIRS MEANDERING UP THROUGH SITE DUE TO DIFFICULT STEEP SLOPED SITE AS IS COMMON ON DRIFTER WAY/WEDGEVIEW PLACE.
5: Vary the side setback (South) from 3m to 1.34m for the existing access landscape stairs roof post, as shown on Bunbury survey plan dated 8 June 2022
Parking:- LACK OF AVAILABLE PARKING AREA ON SITE DUE TO DIFFICULT SLOPED SITE & FORMER GARAGE CONVERTED TO AUX. RESIDENTIAL SUITE OVER 10/20 YEARS AGO.
6: Reduce the parking setback from 1.5m to 0m from the front parcel line for both parking spaces.
7: Reduce the parking setback from 1.5m to 0.5m from the side parcel line for parking space 2.
Detached Main Dwelling: - AS BUILT LOCATION IN SETBACK PRIMARILY DUE TO DIFFICULT NATURE OF EXISTING SLOPED SITE - REFER TO APPENDIX A006 AND SITE SECTION A007
8: Vary the side setback (South) from 3m to 2.61m for the existing main building deck foundations and posts as shown on Bunbury survey plan dated 8 June 2022.
9: Vary the maximum required roof height for the existing as built main dwelling roof from 7.6m from average lowest finished grade by 0.5m to 8.1m due to awkward slope of existing siting

Variances 1-5 are non-delegated, variances 6-9 are delegated.



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SHEET TITLE:
Site Section

SHEET ID:
A007

DPA CONSIDERATIONS: High Risk Wildfire Areas:

These areas are typically developed areas or developable land near or adjacent to forest. In these areas, a number of building features, landscaping, site clearing and tree thinning may be required.

The following guidelines apply to all areas shown on Schedule S:

(a) Where a distance is specified by these guidelines for the purpose of establishing an area that should be cleared or remain free of vegetation, the distance should be measured from the outermost part of the building to:

- (i) the distance specified in the guideline;
- (ii) the property line, unless permission has been granted by the adjacent property owner; or
- (iii) the boundary of an environmentally sensitive area unless clearing is carried out in accordance with the recommendations of a QEP and approved in writing by the municipality's Manager of Environmental Stewardship whichever is closer.

(b) Where the municipality receives a FireSmart® Assessment in respect of a property which is the subject of an application for a development permit under this section, the municipality may choose to apply, as permit conditions, the recommendations of the report instead of, or in addition to, the guidelines in this section.

(c) Where these guidelines warrant tree removal preference should be given to:

- (i) retaining the largest and healthiest trees;
- (ii) removing coniferous vegetation located closest to principal buildings; and
- (iii) retaining deciduous trees and vegetation.

HIGH RISK AREAS

In areas shown as "High Risk" on Schedule S, the following guidelines apply:

(a) New and existing coniferous vegetation within 10 metres and where practical 20 metres of principal buildings should maintain a typical spacing between tree canopies and between tree canopies and principal buildings of at least 3 metres. This can be achieved by:

- (i) planting/removing conifers to achieve a trunk to trunk or trunk to building spacing of 6 metres or more; or
- (ii) limbing mature trees, selecting species with narrow canopies or applying similar landscaping techniques to obtain a minimum 3 metre vertical and horizontal separation between tree canopies and between tree canopies and principal buildings.

(b) Dead branches and twigs should be cleared within 20 metres of principal buildings. Standing dead trees with a caliper of 17 centimetres or more should be topped at 3 metres and cleared of all branches. Where dead branches are attached to logs greater than 17 centimetres wide or trees they should be trimmed to the trunk of the tree or log and in the case of trees, to a height of 2 metres.

(c) Planting native deciduous trees and shrubs is encouraged especially in cases where coniferous vegetation has been removed.

(e) The use of bark mulch and similar organic ground cover in landscaped areas within 10 metres of buildings is discouraged.

(f) Exterior building surfaces, including deck surfacing, roofing and cladding, that is situated under, or within 6 metres of, coniferous vegetation should be non-flammable materials such as stone, metal, concrete, masonry or fiber-cement.

(g) Fire-resistant or non-flammable cladding that is consistent with mountain character (e.g., fiber-cement siding, stone, logs or heavy timbers) is encouraged. Stucco and vinyl siding are discouraged.

(h) Windows and doors should utilize double-paned or triple-paned glass; tempered glass is ideal, and single pane glass is discouraged.

(i) Eaves should be closed and vents screened with 3 millimetre wire mesh.

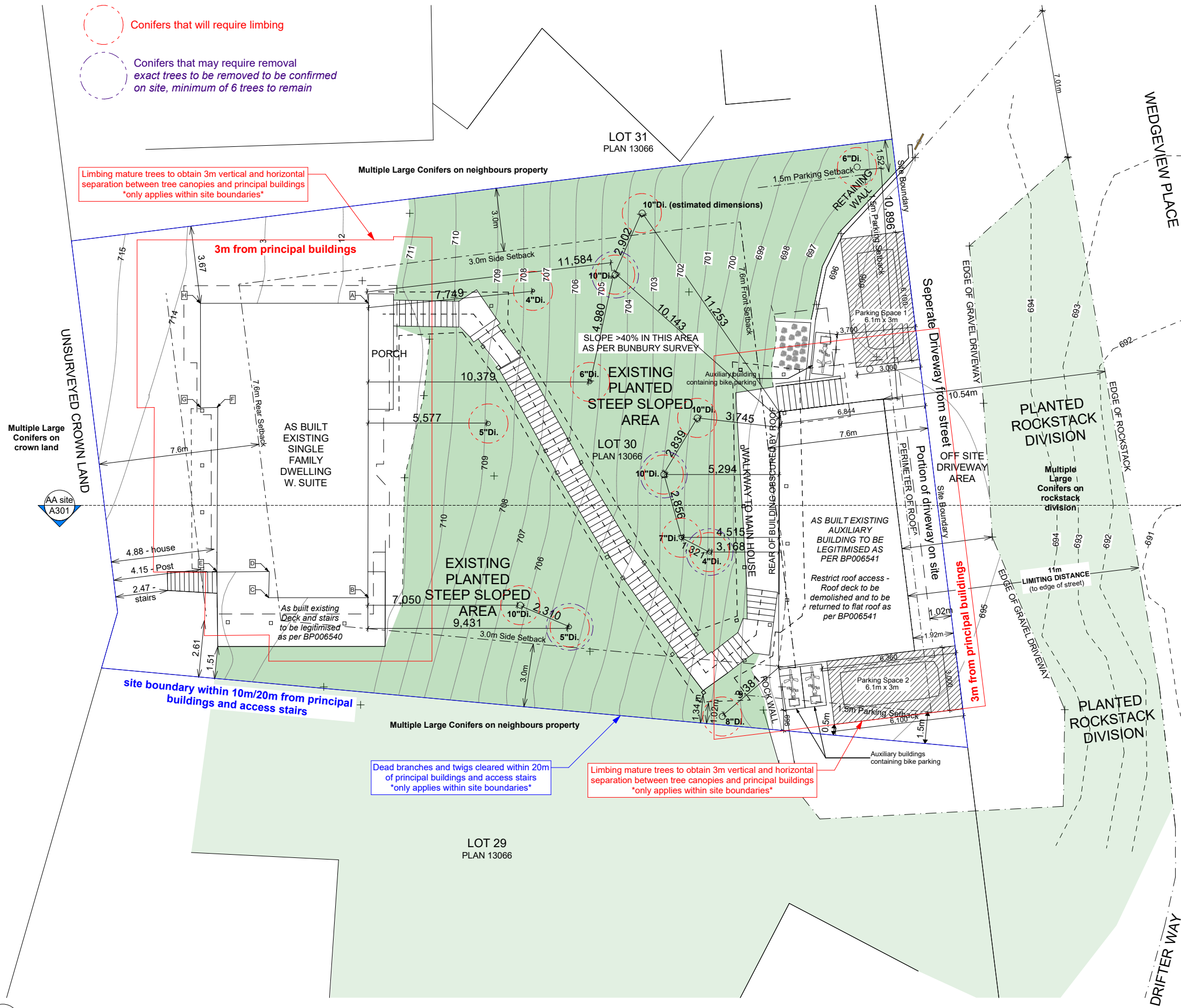
(j) The undersides of balconies, decks or open foundations should be sheathed with fire-resistant materials.

(k) Auxiliary buildings and fuel tanks should be located as far away from principal buildings as possible. A distance of 15 metres or more is ideal. Where a distance of 15 metres or more is impractical, guidelines in this section that apply to principal buildings should be applied to accessory buildings.

(l) Chimneys for wood burning fireplaces should have spark arrestors.

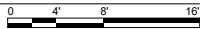
(m) Gutters should be made of metal.

(n) Cladding should be free of gaps and holes and separated from the ground with a minimum of 15 centimeters of non-combustible ground to siding clearance.



1
A009

Site Plan for Wildfire DPA Guidelines
SCALE: 1/8" = 1'-0"



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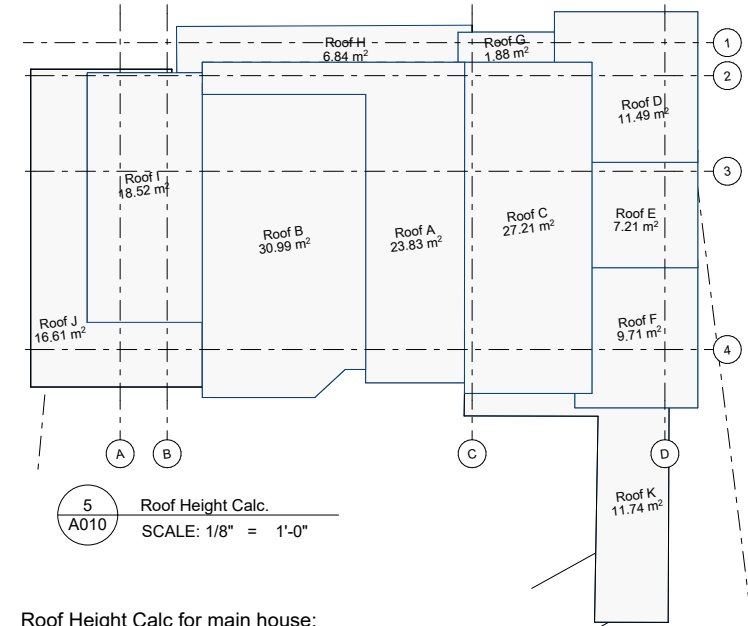
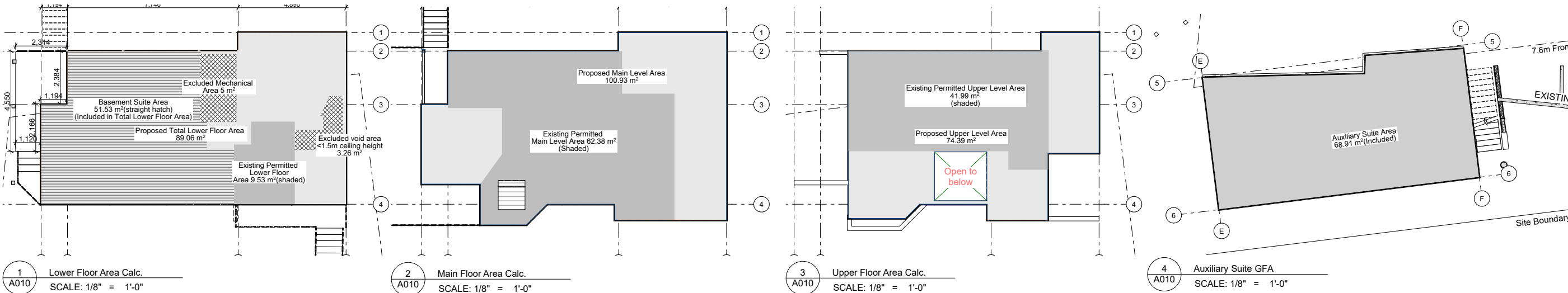
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SHEET TITLE:
Wildfire DPA Guideline Plan

SHEET ID:

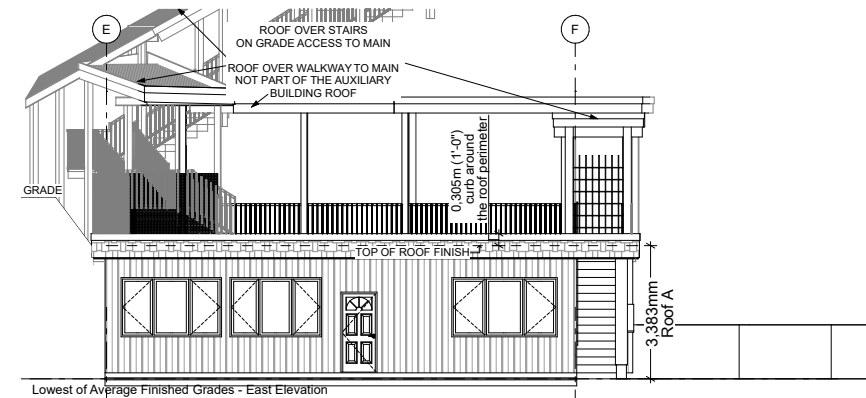
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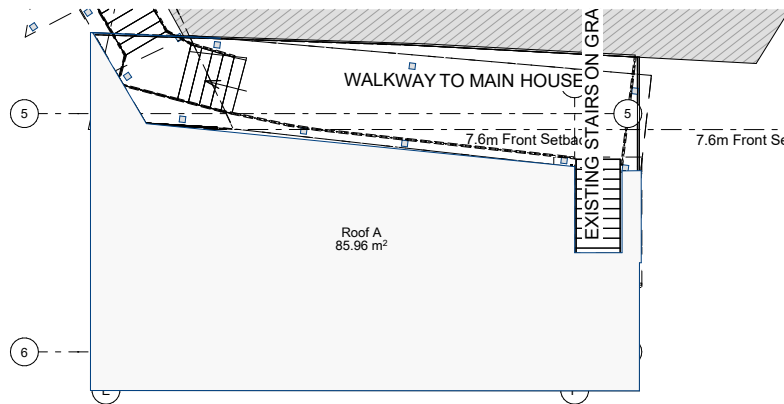
Roof Height Calc for main house:

ROOF	HIGH POINT ELEVATION	LOW POINT ELEVATION	MEAN (m) ELEVATION	AREA (m²)	AREA %	TOTAL (MEAN x AREA%)
A	11.83	7.76	9.80	23.83	14.35%	1.41
B	11.41	9.03	10.22	30.99	18.66%	1.91
C	11.83	9.03	10.43	27.21	16.39%	1.71
D	10.53	8.72	9.62	11.49	6.92%	0.67
E	9.51	7.96	8.74	7.21	4.34%	0.38
F	7.76	6.12	6.94	9.71	5.85%	0.41
G	6.78	6.60	6.69	1.88	1.13%	0.08
H	4.63	4.43	4.53	6.87	4.14%	0.19
I	7.40	6.59	6.99	18.52	11.15%	0.78
J	4.07	4.07	4.07	16.61	10.00%	0.41
K	4.09	1.98	3.03	11.74	7.07%	0.21
SUBTOTAL				166.06	100.00%	
ROOF HEIGHT PROPOSED =				8.1 m		
ROOF HEIGHT ALLOWED =				7.6 m		

ROOF HEIGHT VARIANCE REQUESTED SEE DVP005 VARIANCE 7.



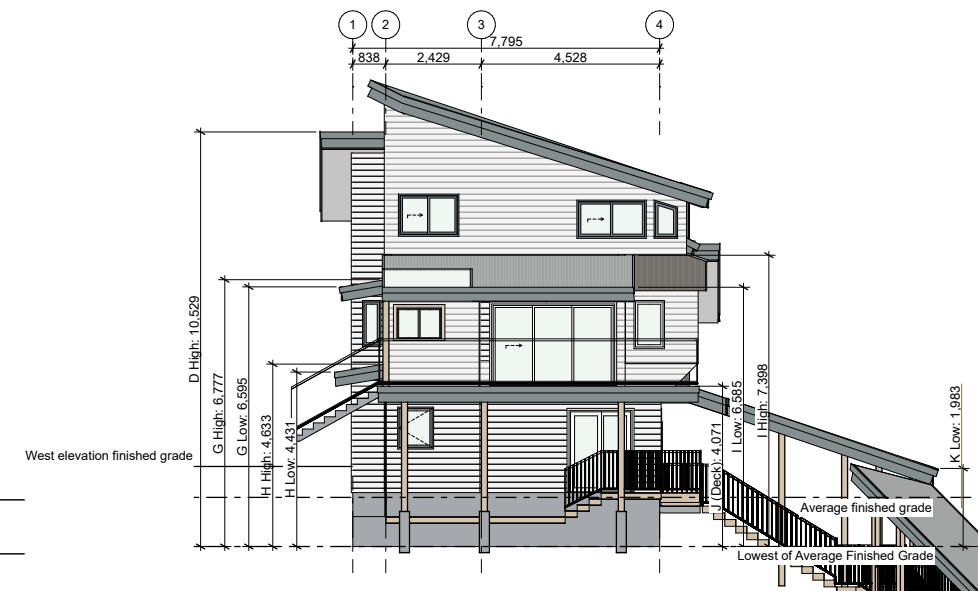
7 East Elevation Aux Suite Roof Height calc
A010 SCALE: 1/8" = 1'-0"



6 Roof Height Calc. Auxiliary Suite
A010 SCALE: 1/8" = 1'-0"

Roof Height Calc for Auxiliary:

ROOF	HIGH POINT ELEVATION	LOW POINT ELEVATION	MEAN (m) ELEVATION	AREA (m²)	AREA %	TOTAL (MEAN x AREA%)
A	3.38	3.38	3.38	32.21	100.00%	3.38
SUBTOTAL				32.21	100.00%	
ROOF HEIGHT PROPOSED =				3.4 m		
ROOF HEIGHT ALLOWED =				3.5 m		

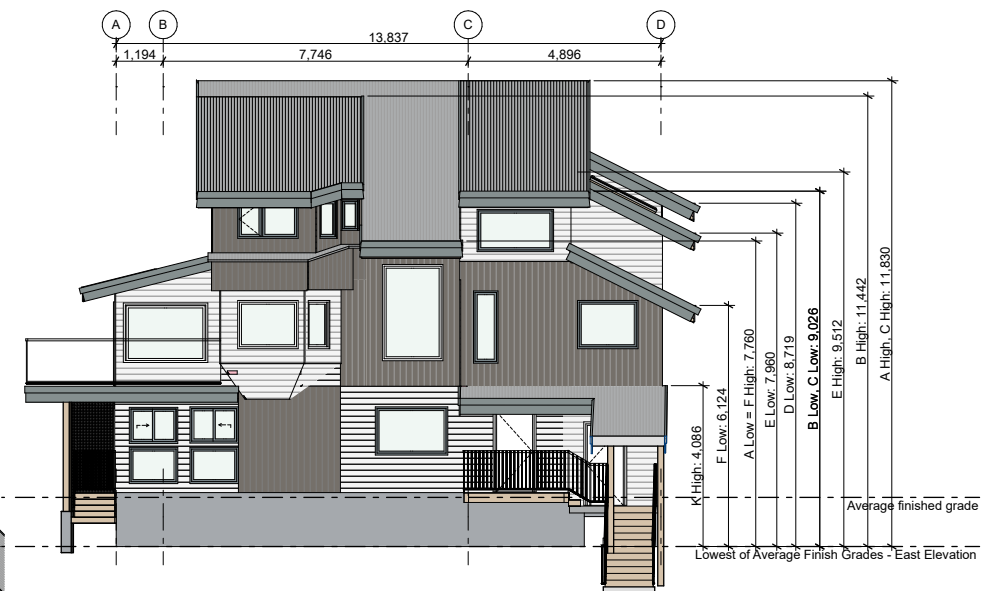


8 South Elevation - Roof Height Calculation
A010 SCALE: 1/8" = 1'-0"

GROSS FLOOR AREAS	AREA PROPOSED		Total Area per Floor		Max G.F.A.
AUXILLARY SUITE AREA (Existing to be legalized)	741.76 sq ft	68.91 sq m	AUX. DWELING	68.91	(40% of LOT area)
LOWER FLOOR AREA (Existing permitted)	102.58 sq ft	9.53 sq m	LOWER FLOOR TOTAL	80.80	
LOWER FLOOR AREA (Existing to be legalized)	767.14 sq ft	71.27 sq m	MAIN FLOOR TOTAL	100.93	
MAIN FOOR AREA (Existing permitted)	671.45 sq ft	62.38 sq m	UPPER FLOOR TOTAL	74.39	
MAIN FOOR AREA (Existing to be legalized)	414.99 sq ft	38.55 sq m			
UPPER FOOR AREA (Existing permitted)	451.93 sq ft	41.99 sq m			
UPPER FOOR AREA (Existing to be legalized)	348.8 sq ft	32.40 sq m			
TOTAL G.F.A. Proposed	3498.65 sq ft	325.04 sq m			386.04 sq m
EXCLUDED GROSS FLOOR AREAS					
MECHANICAL ROOM	53.83 sq ft	5.00 sq m			
VOID AREA <1.5M CEILING HEIGHT	35.12 sq ft	3.26 sq m			
TOTAL DEDUCTED	88.95 sq ft	8.26 sq m			

SITE COVERAGE		
Building footprint	1,723.56 sq ft	160.12 sq m
Total Parcel Area	10388.12 sq ft	965.09 sq m
Site Coverage Proposed	16.59%	
Site Coverage Allowed	35%	

FLOOR SPACE RATIO	
GFA	325.04 sq m
Total Parcel Area	965.09 sq m
Floor Space Ratio Proposed	33.68%
Floor Space Ratio Allowed	40%



9 East Elevation - Roof Height Calculation
A010 SCALE: 1/8" = 1'-0"

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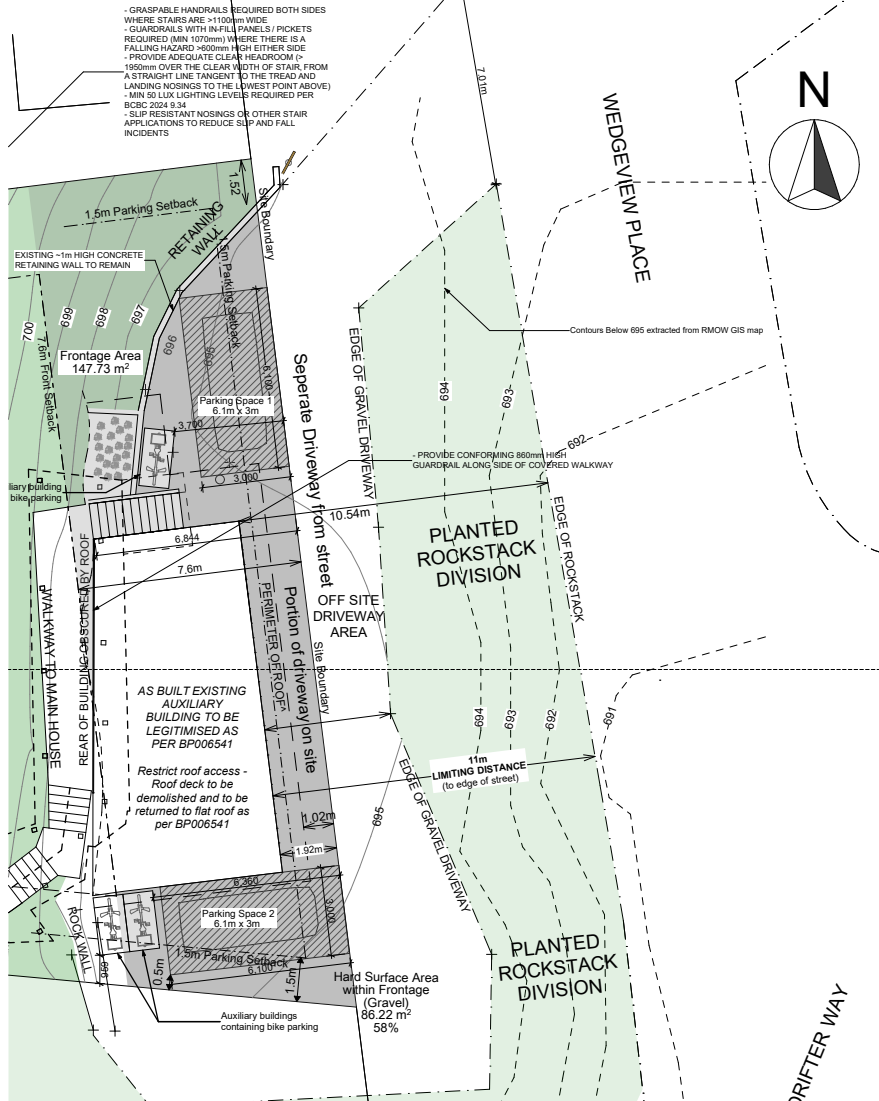
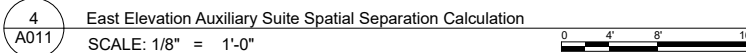
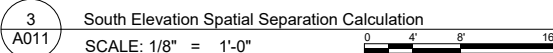
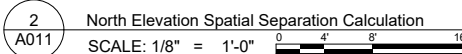
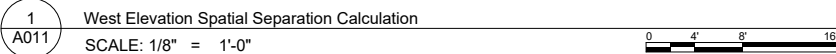
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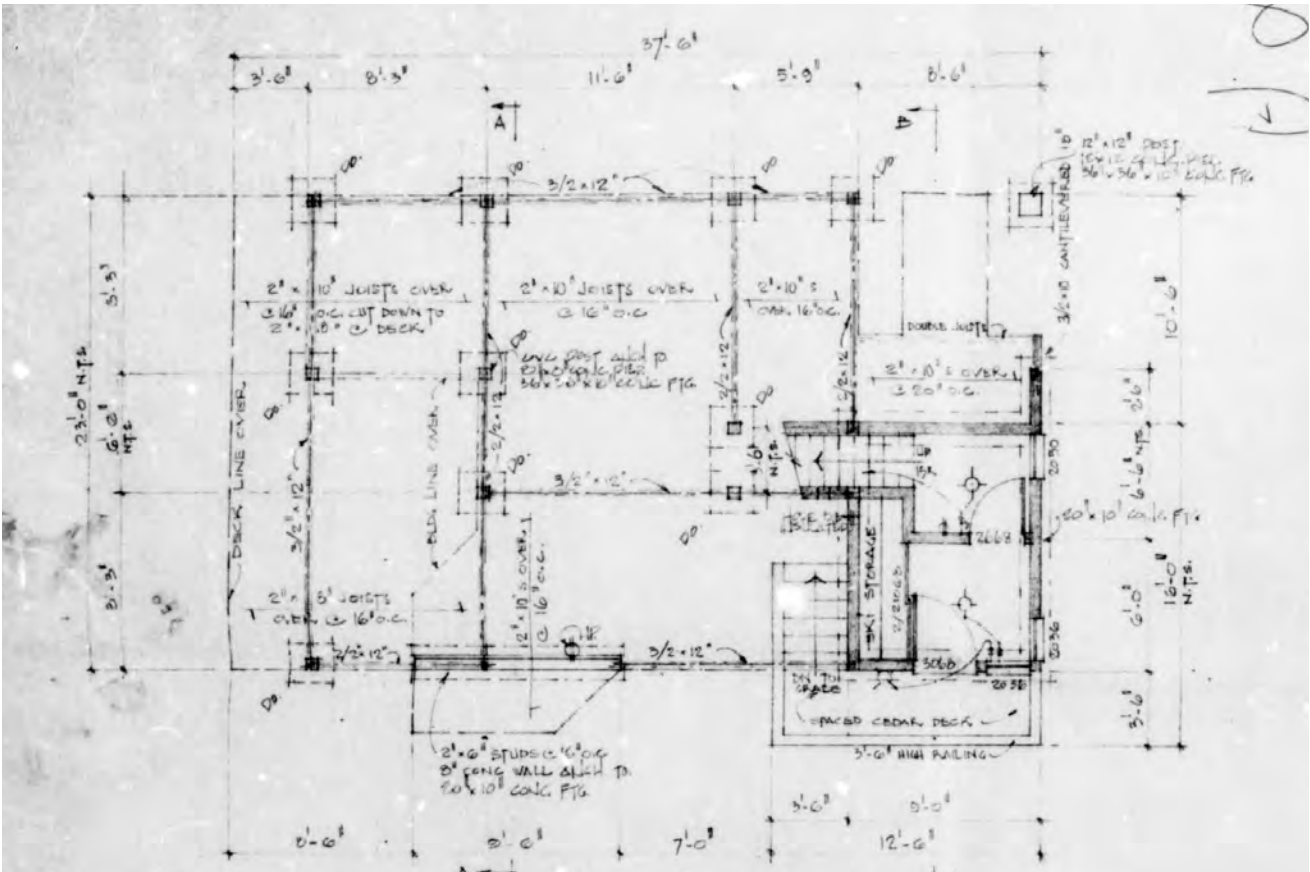
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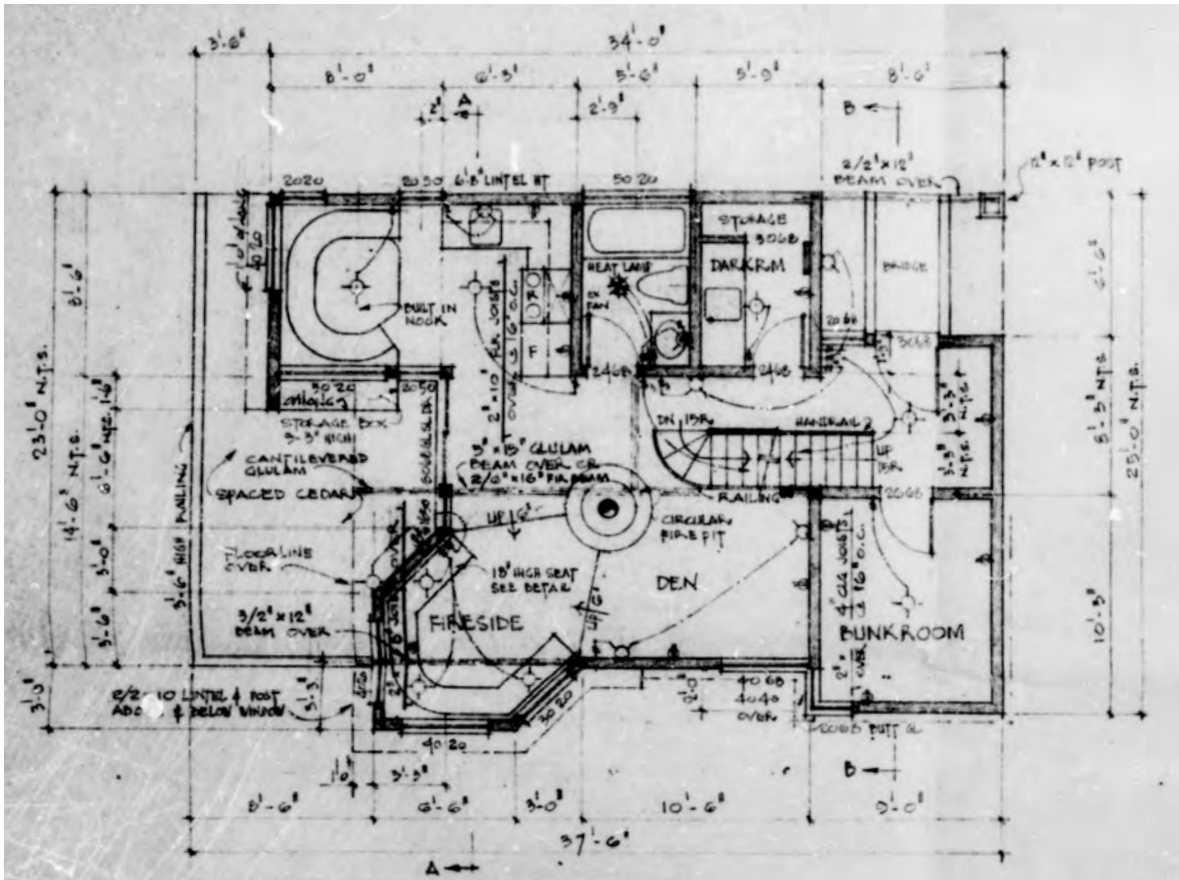
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GFA and Roof Height Calculation

SHEET ID:
A010

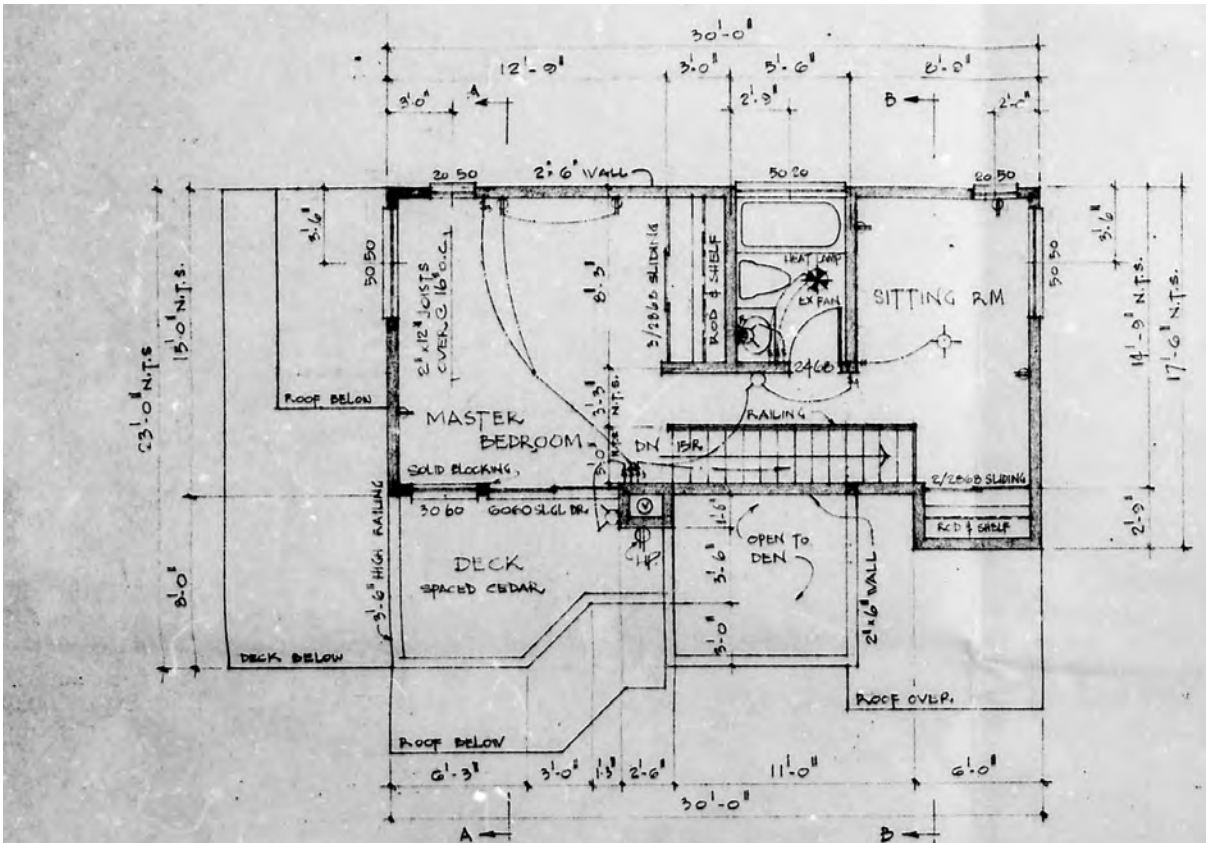




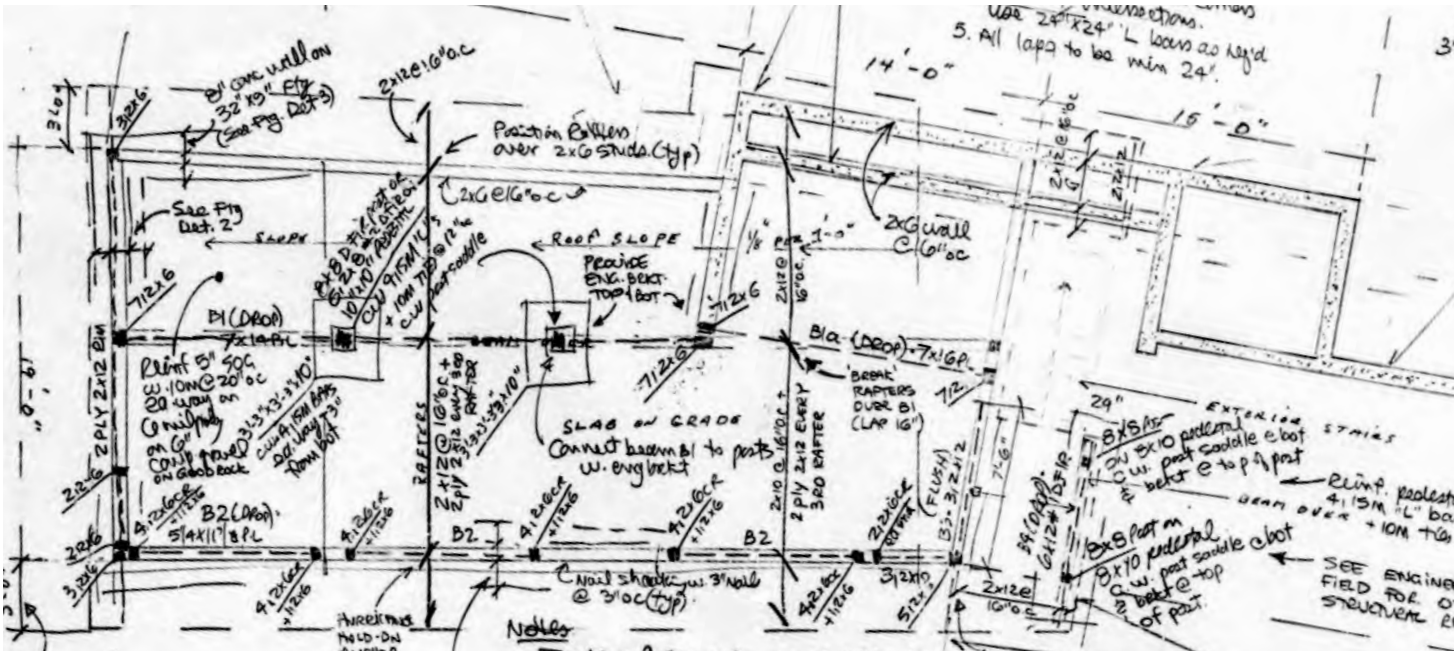
1
A101 Foundation Existing Plans
NOT TO SCALE



2
A101 Existing Main Floor Plan
NOT TO SCALE



3
A101 Existing Upper Floor Plan
NOT TO SCALE



4
A101 Existing Plan on File - Garage
NOT TO SCALE



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H69 - 8576 Drifter Way
8576 Drifter Way Whistler BC

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ISSUE:
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ISSUE:
2025-09-10
12:30 PM

SHEET TITLE:
Existing Plans on File

SHEET ID:
A101

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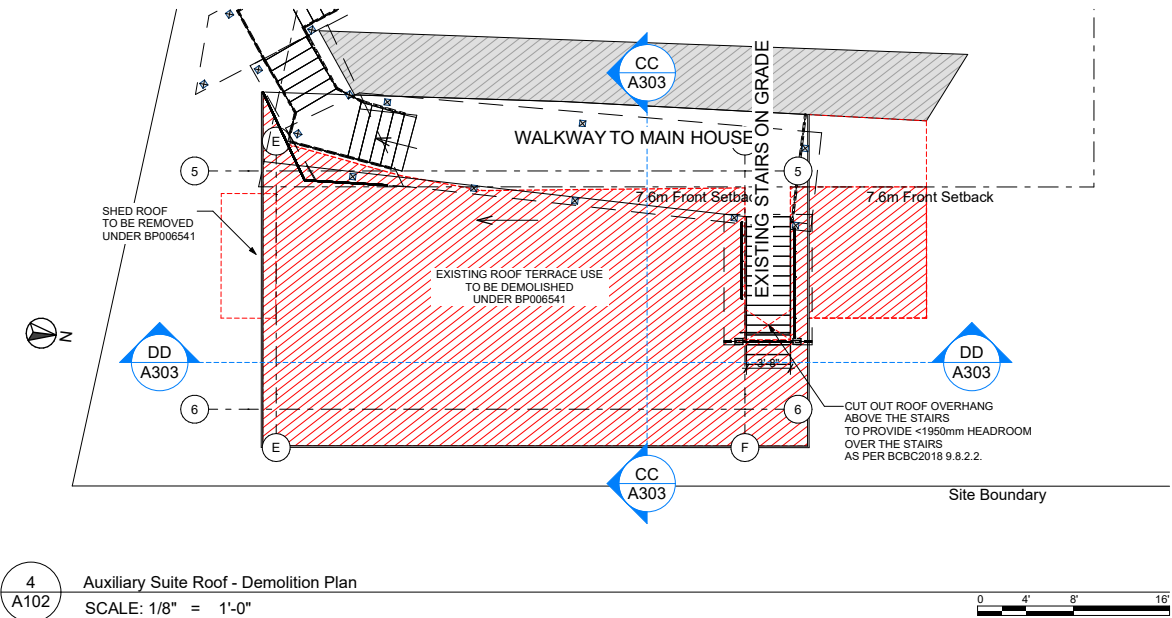
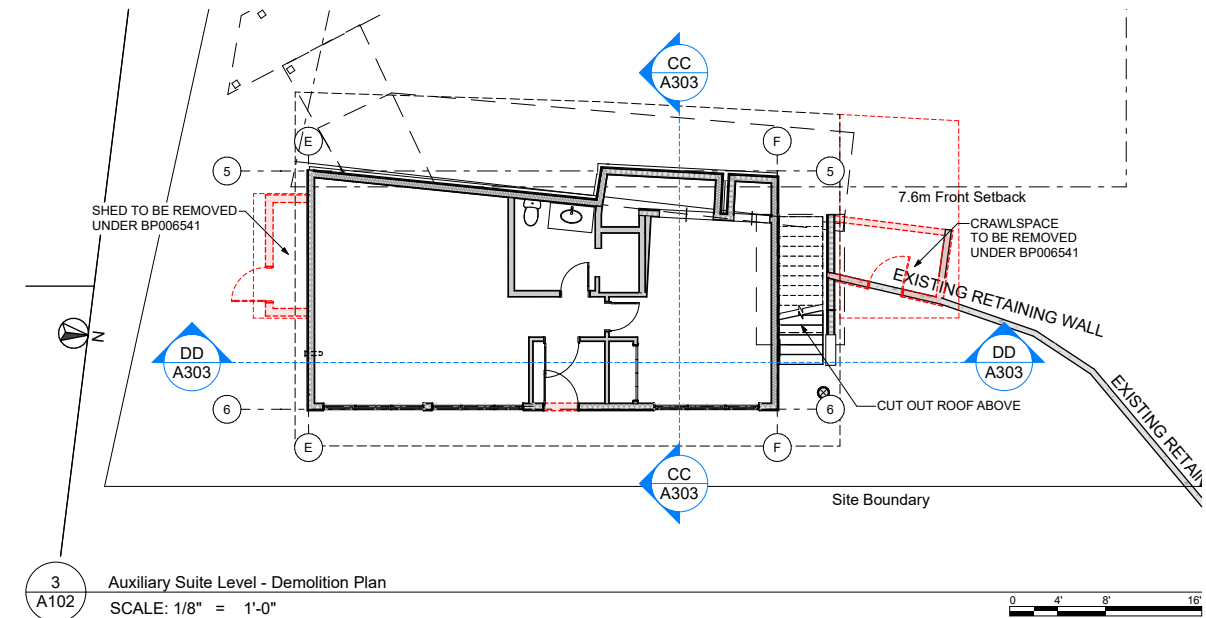
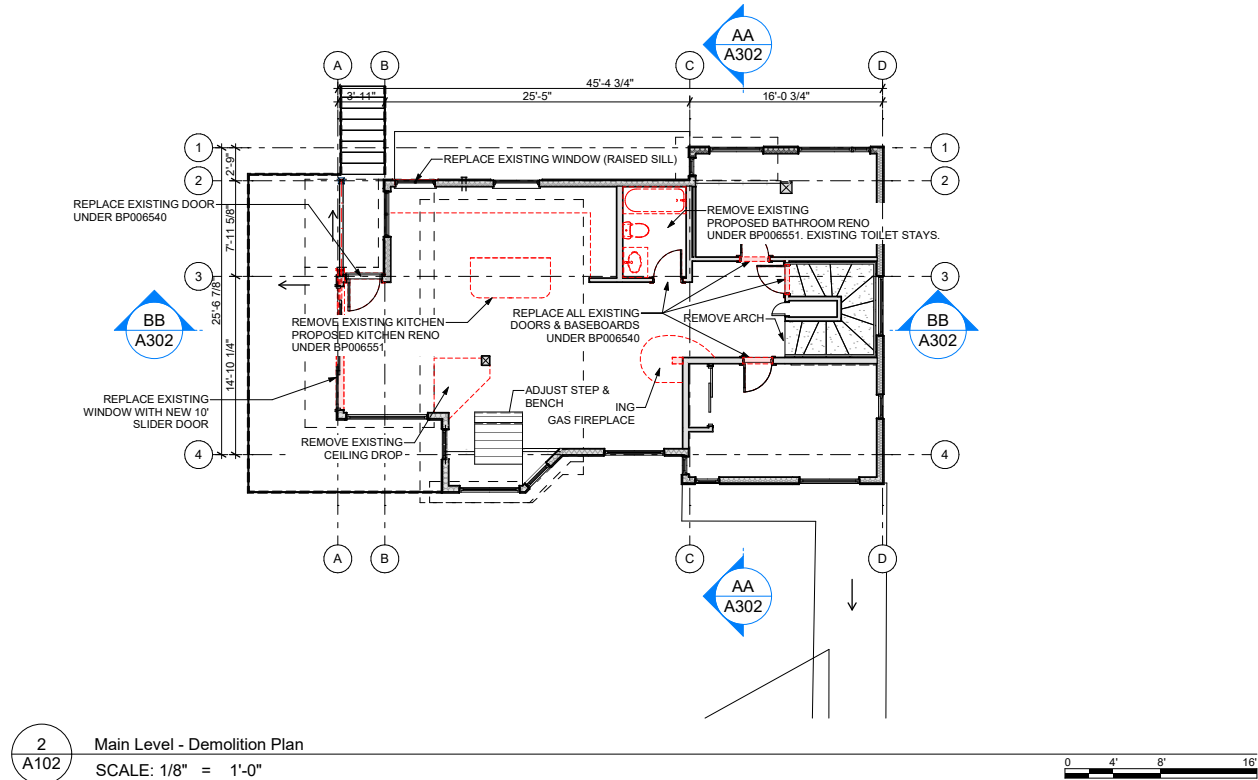
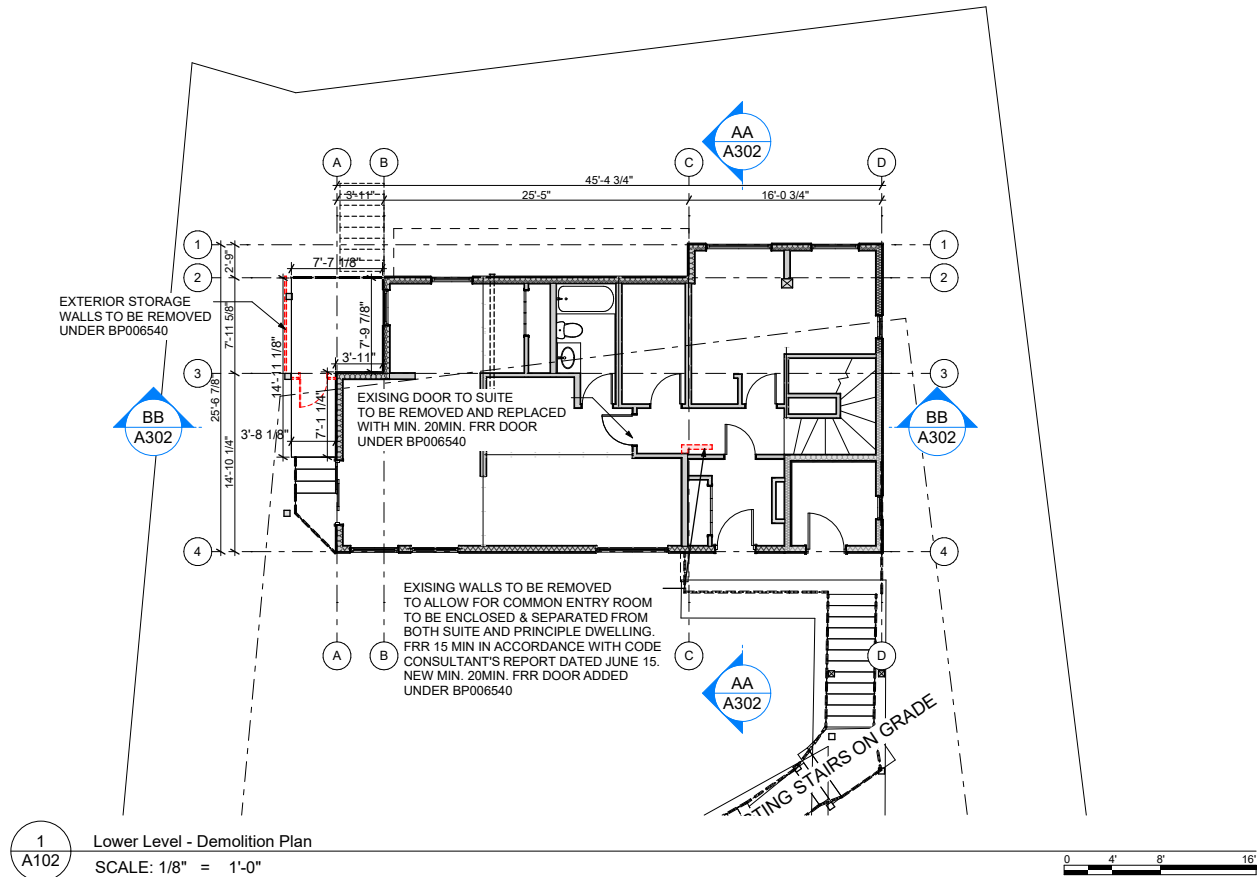
ISSUE:
#01 - ISSUED FOR DEVELOPMENT VARIANCE PERMIT

ISSUE:
2025-09-10
12:30 PM

SHEET TITLE:
Demolition Plans

SHEET ID:

A102



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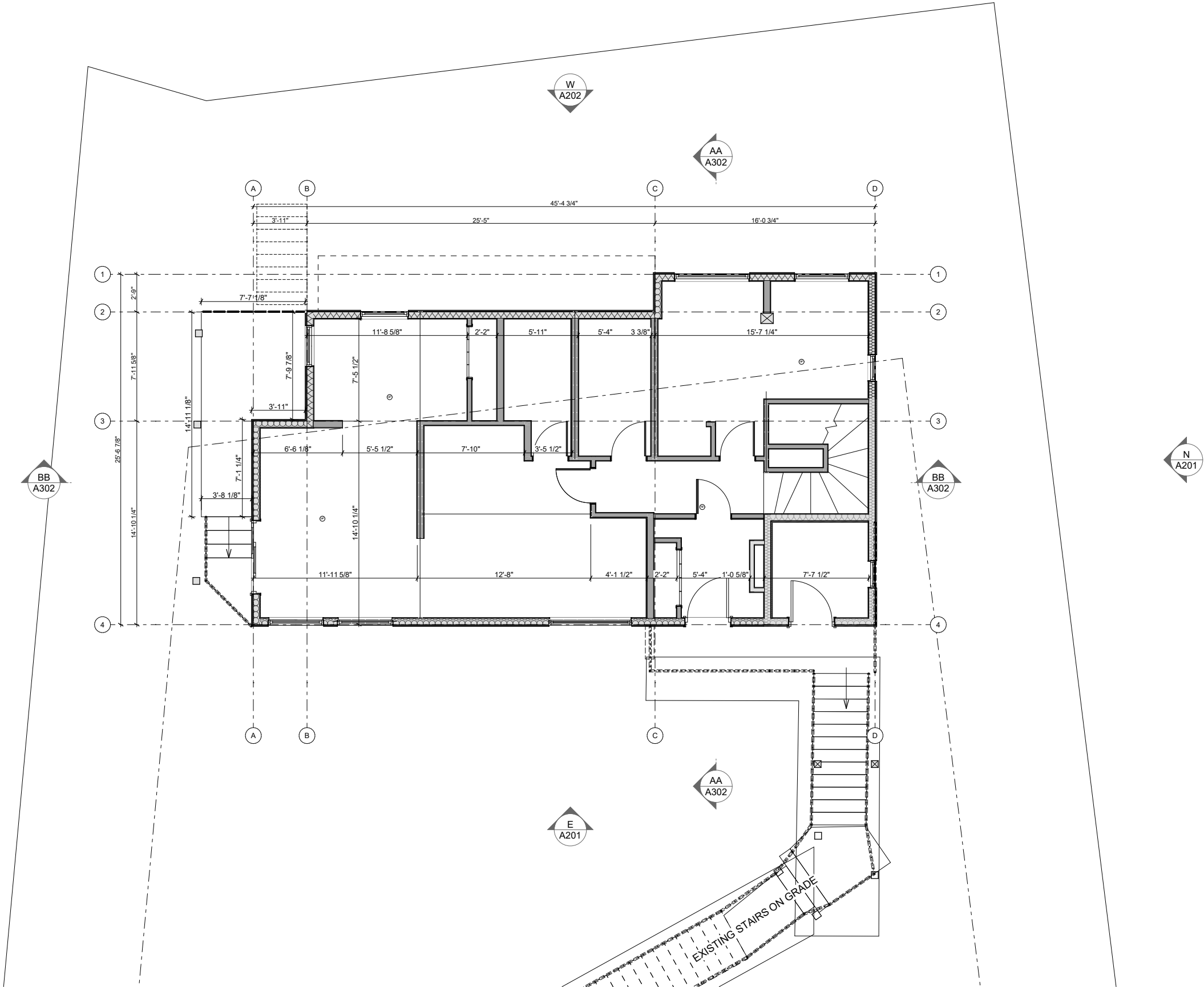
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ISSUE:
**#01 -
ISSUED FOR DEVELOPMENT
VARIANCE PERMIT**

ISSUE:
**2025-09-10
12:30 PM**

SHEET TITLE:
Lower Level Suite Plan

SHEET ID:
A104





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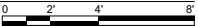
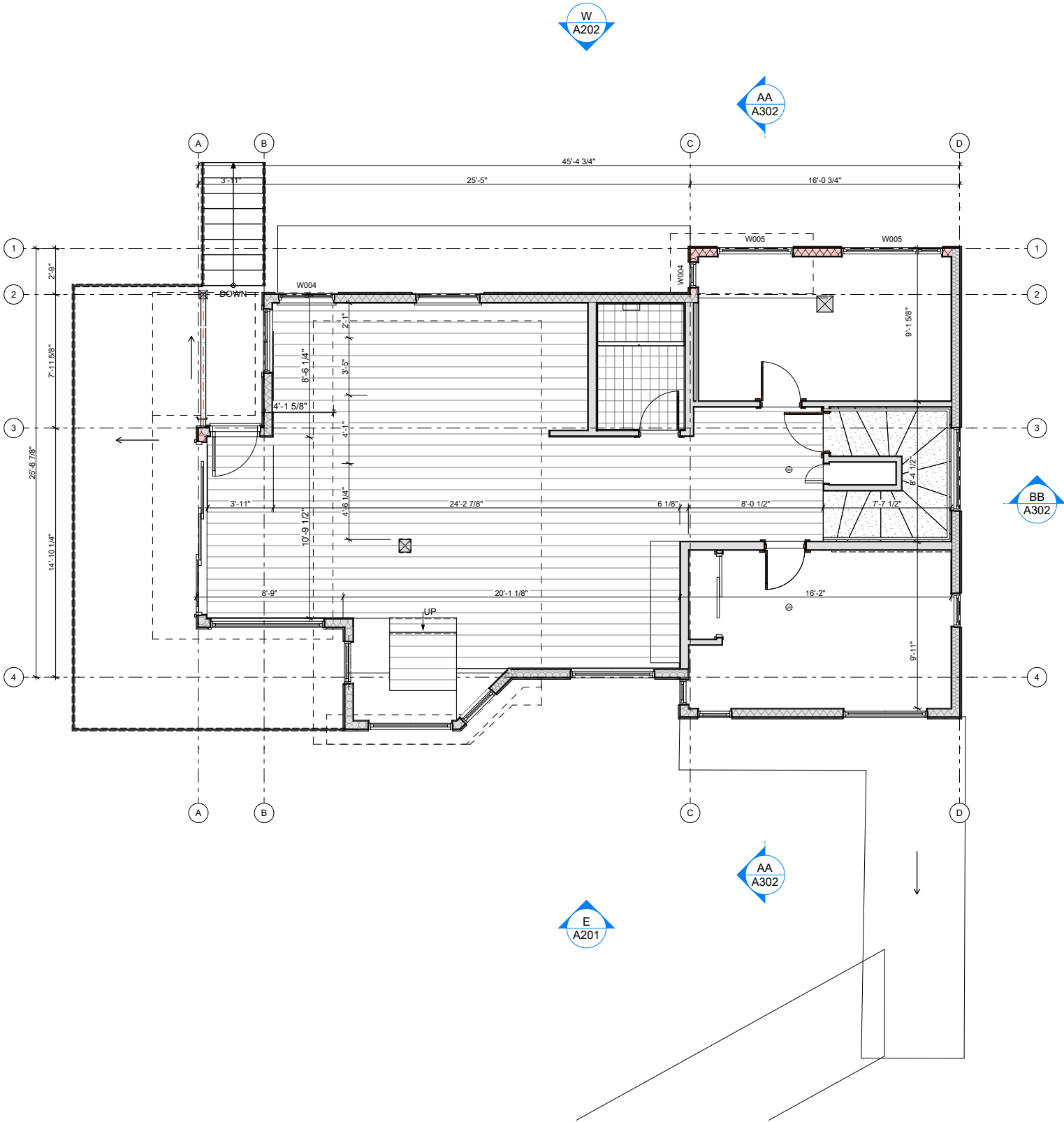
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ISSUE:
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VARIANCE PERMIT**

ISSUE:
**2025-09-10
12:30 PM**

SHEET TITLE:
Main Level Plan

SHEET ID:
A105





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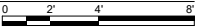
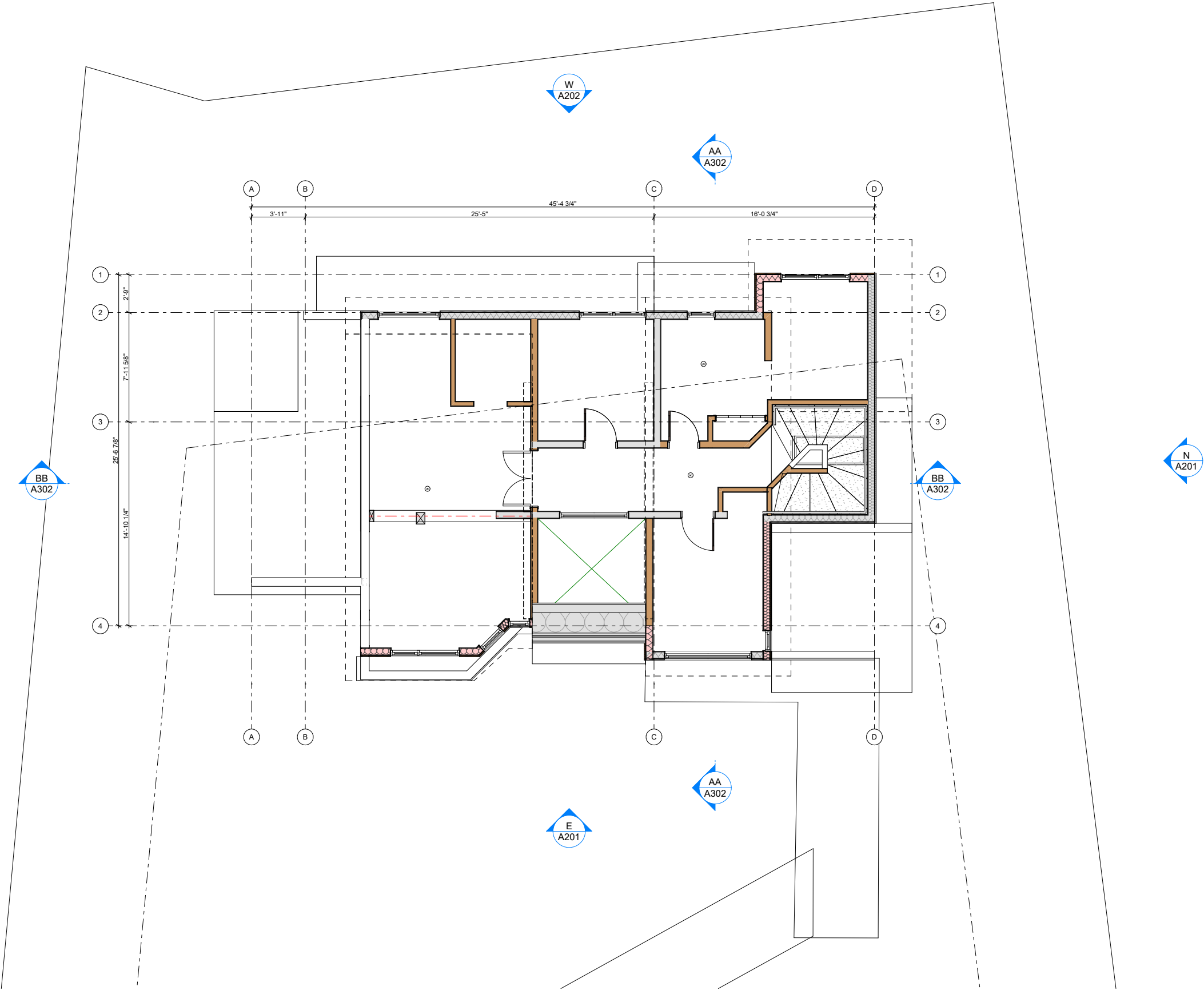
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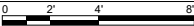
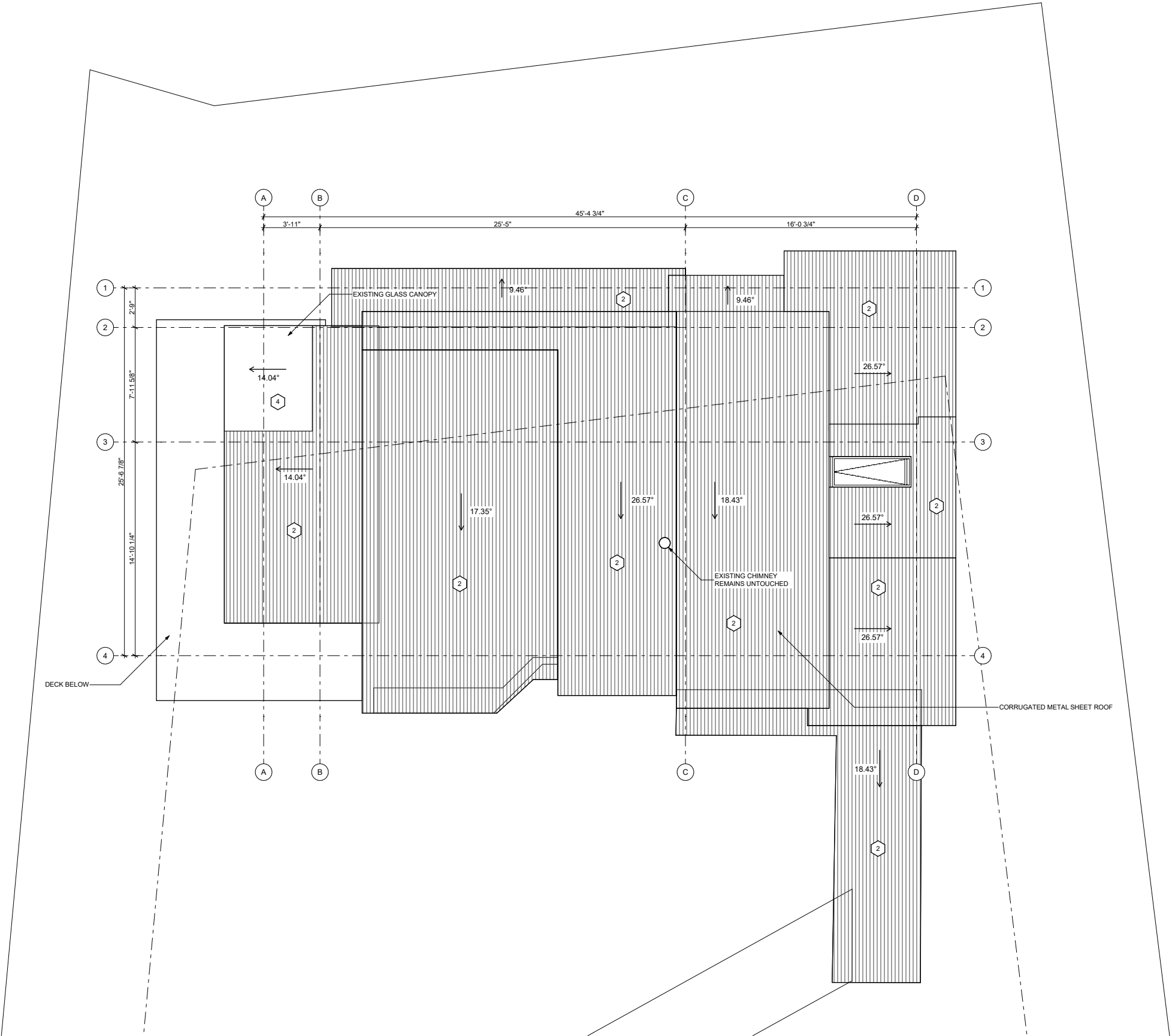
SHEET TITLE:
Upper Level Plan


SHEET ID:
A106



EXTERIOR FINISHES:

- 1H HORIZONTAL WOOD SIDING
- 1V VERTICAL WOOD SIDING
- 2 CORRUGATED METAL ROOF SHEETING
- 3 FASCIA METAL FLASHING
- 4 CLEAR ROOFING
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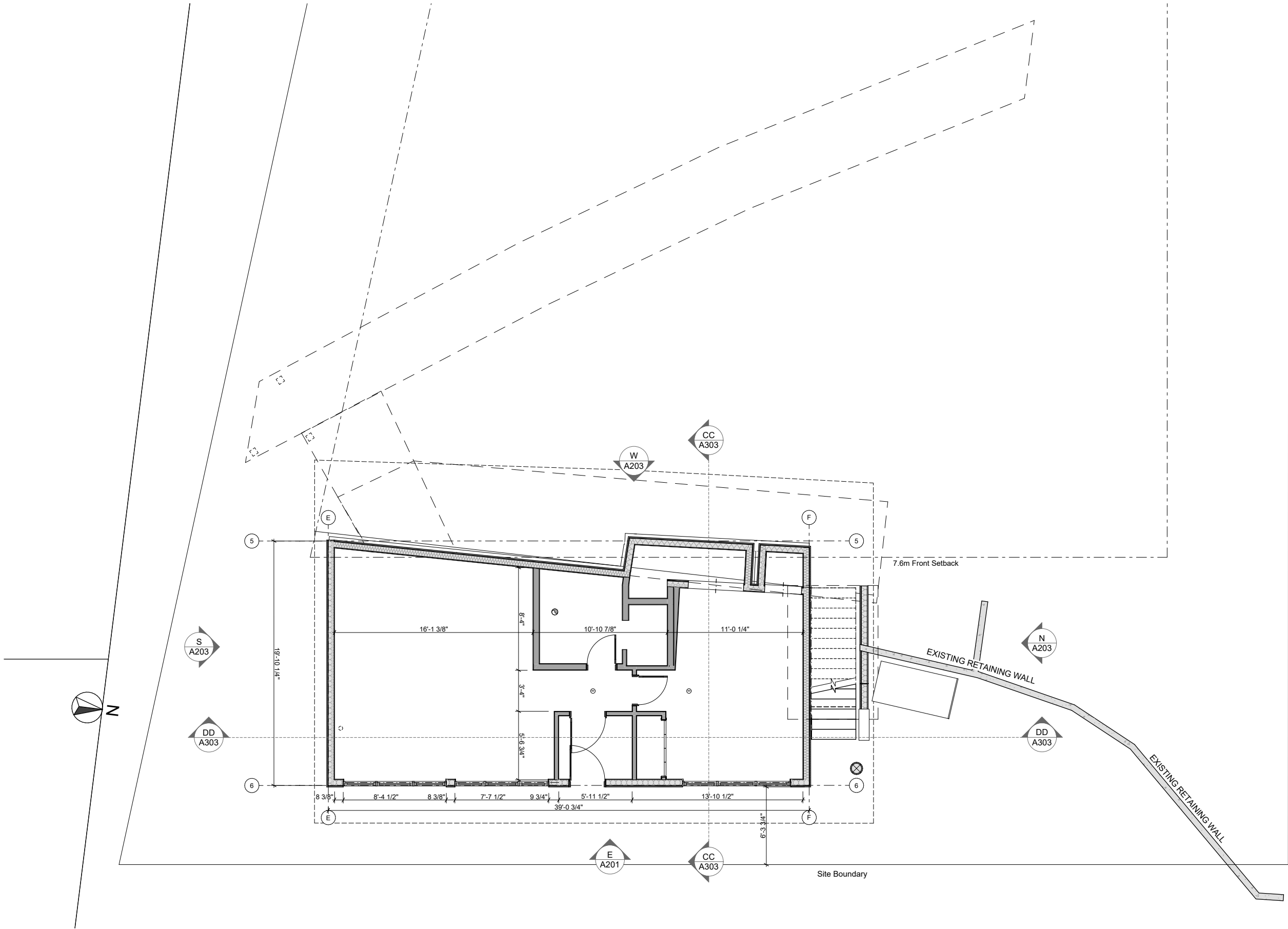
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SHEET TITLE:

Roof Plan

SHEET ID:

A107





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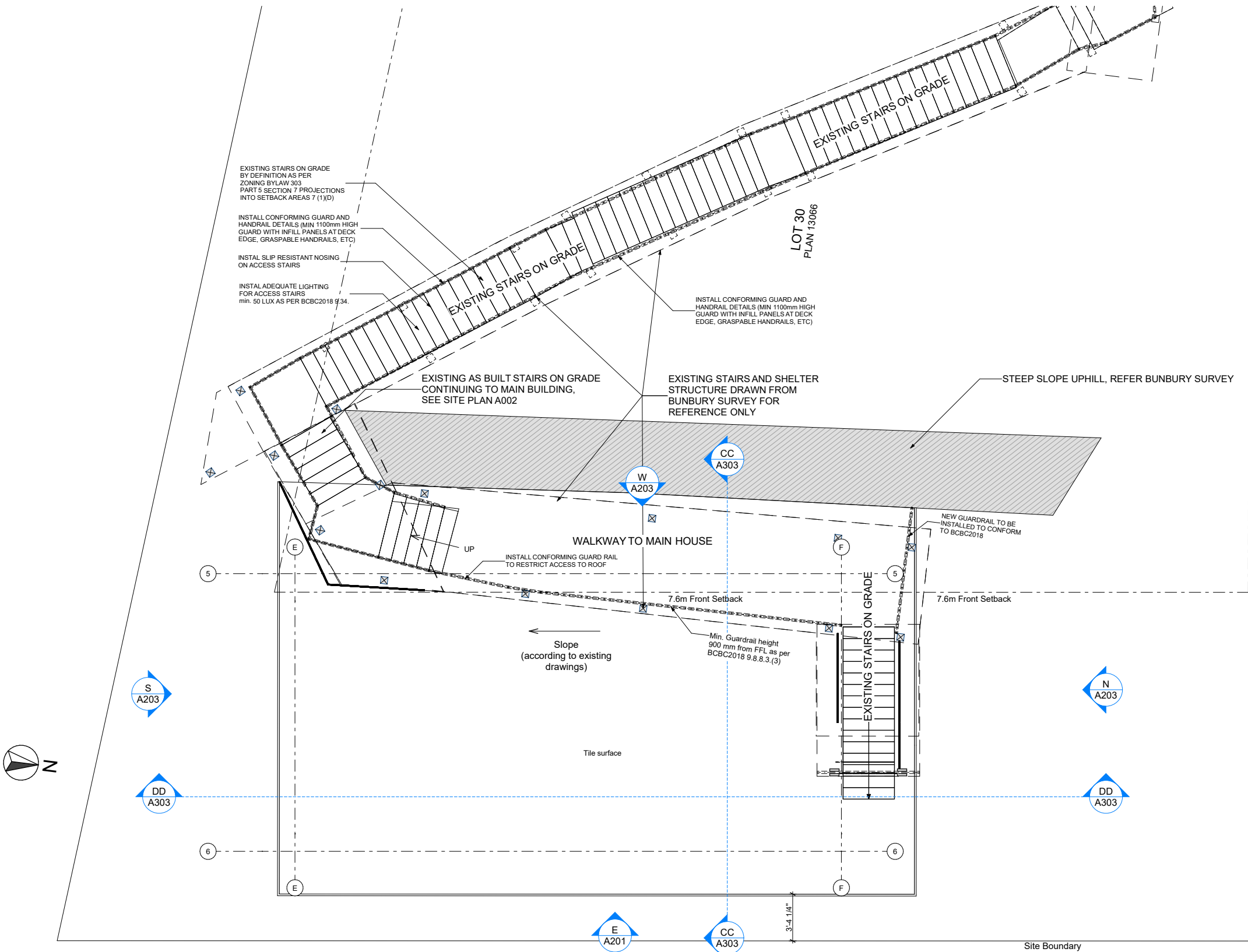
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SHEET TITLE:

Auxiliary Suite Plan

SHEET ID:

A108



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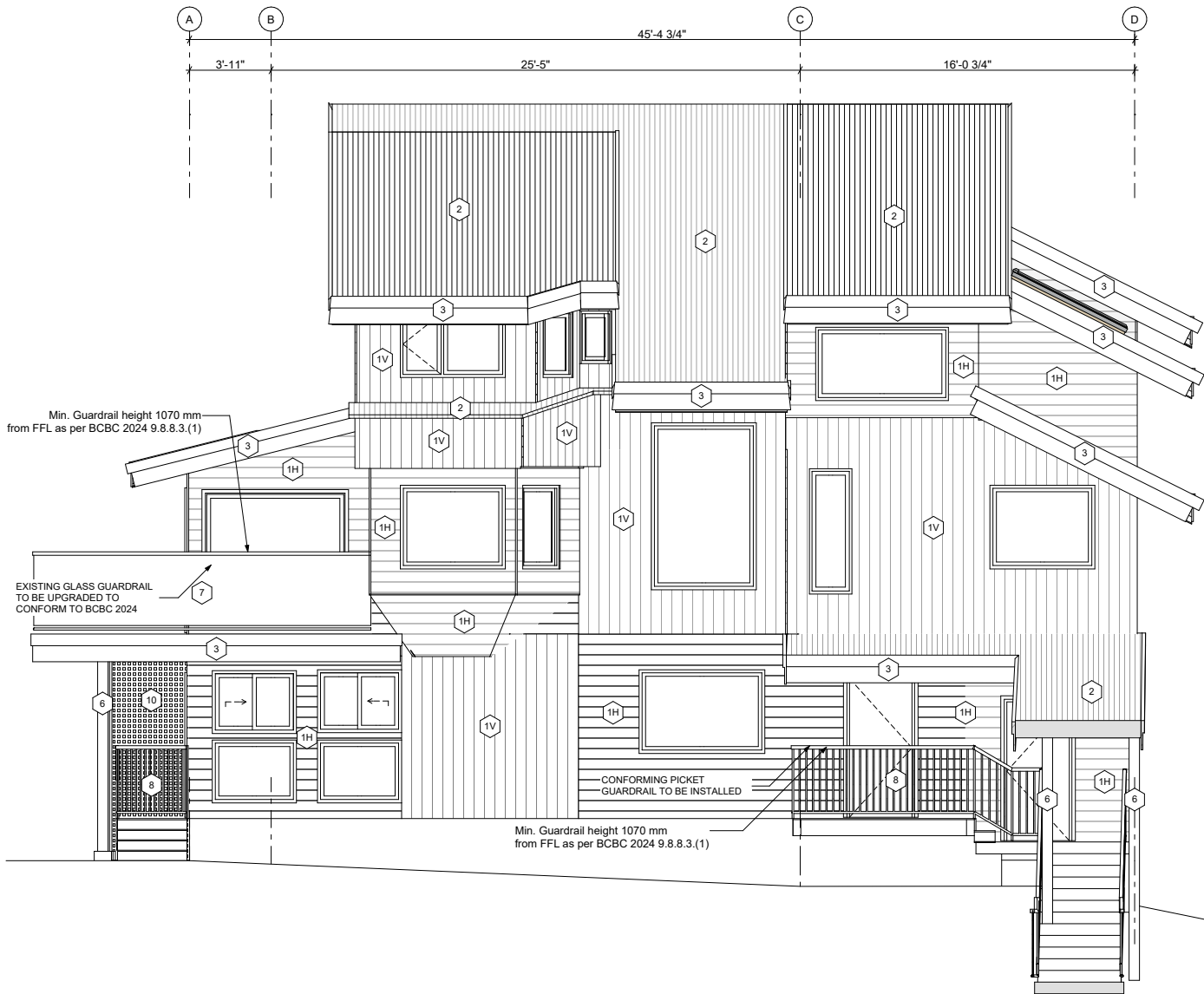
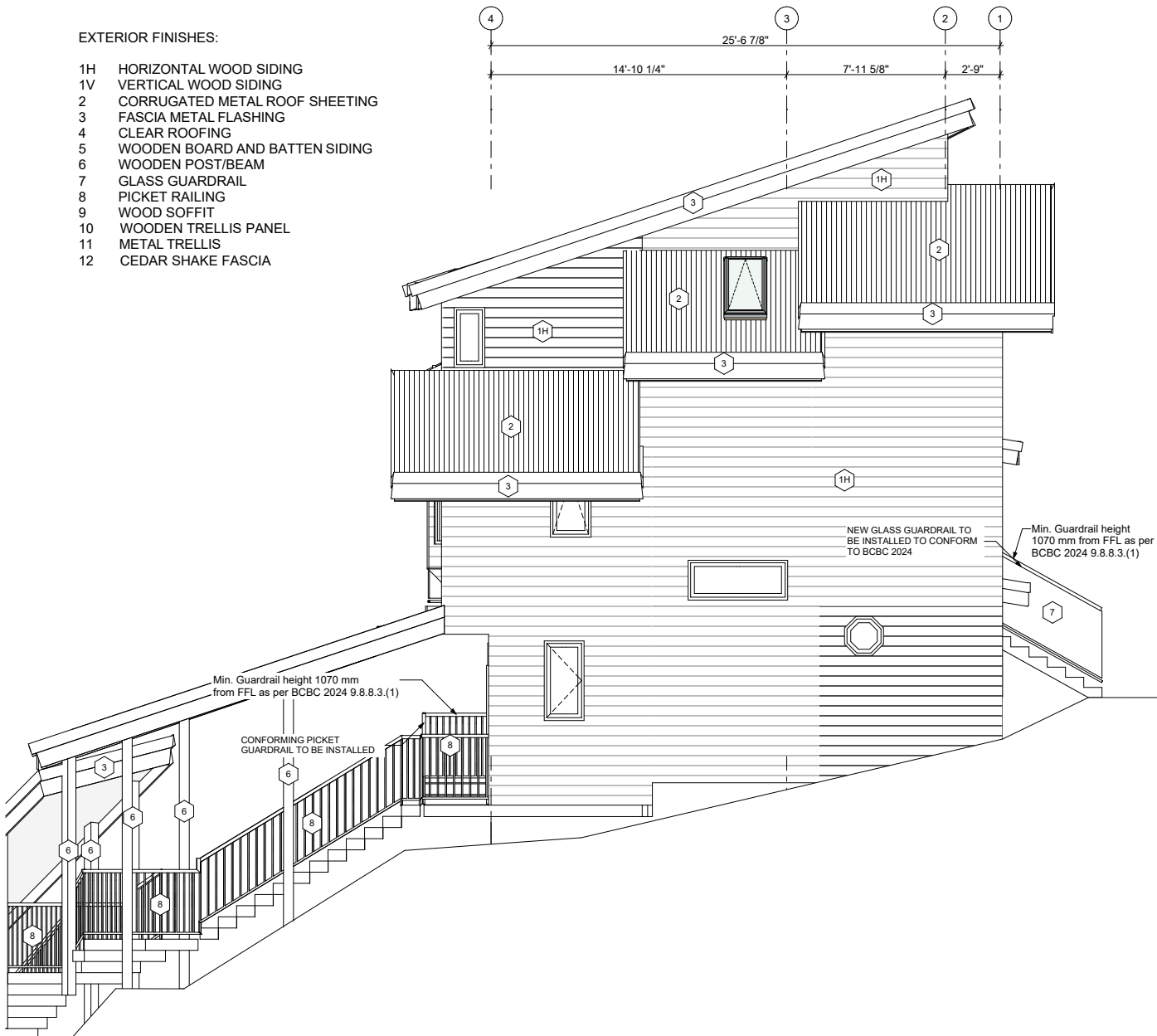
ISSUE:
**2025-09-10
12:30 PM**

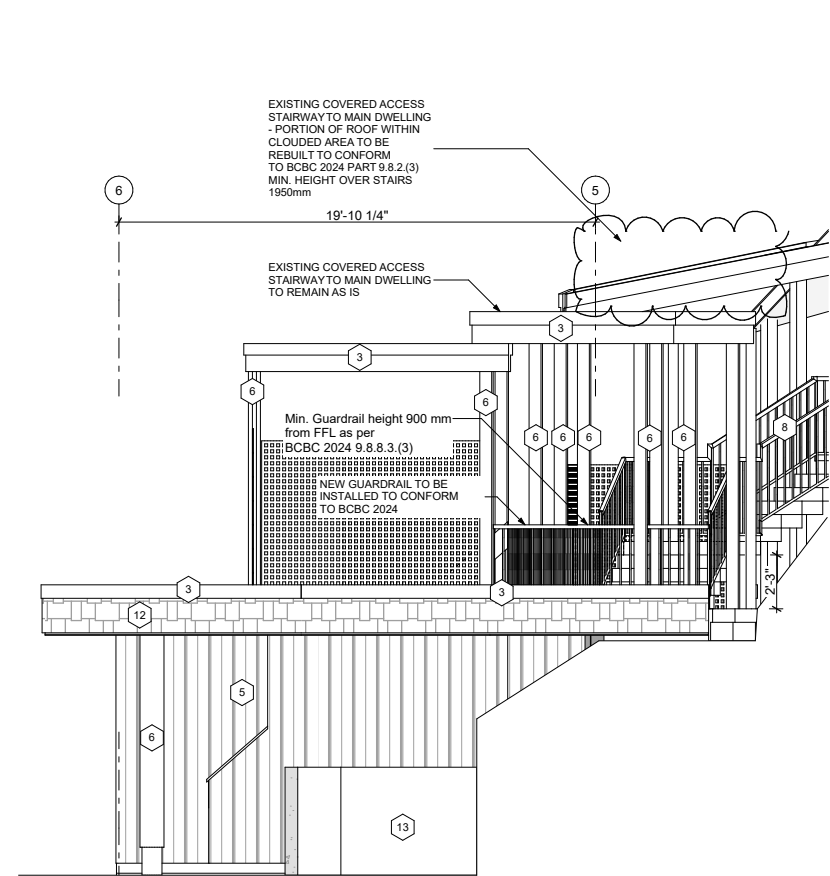
SHEET TITLE:
Auxiliary Suite Roof Plan

SHEET ID:
A109

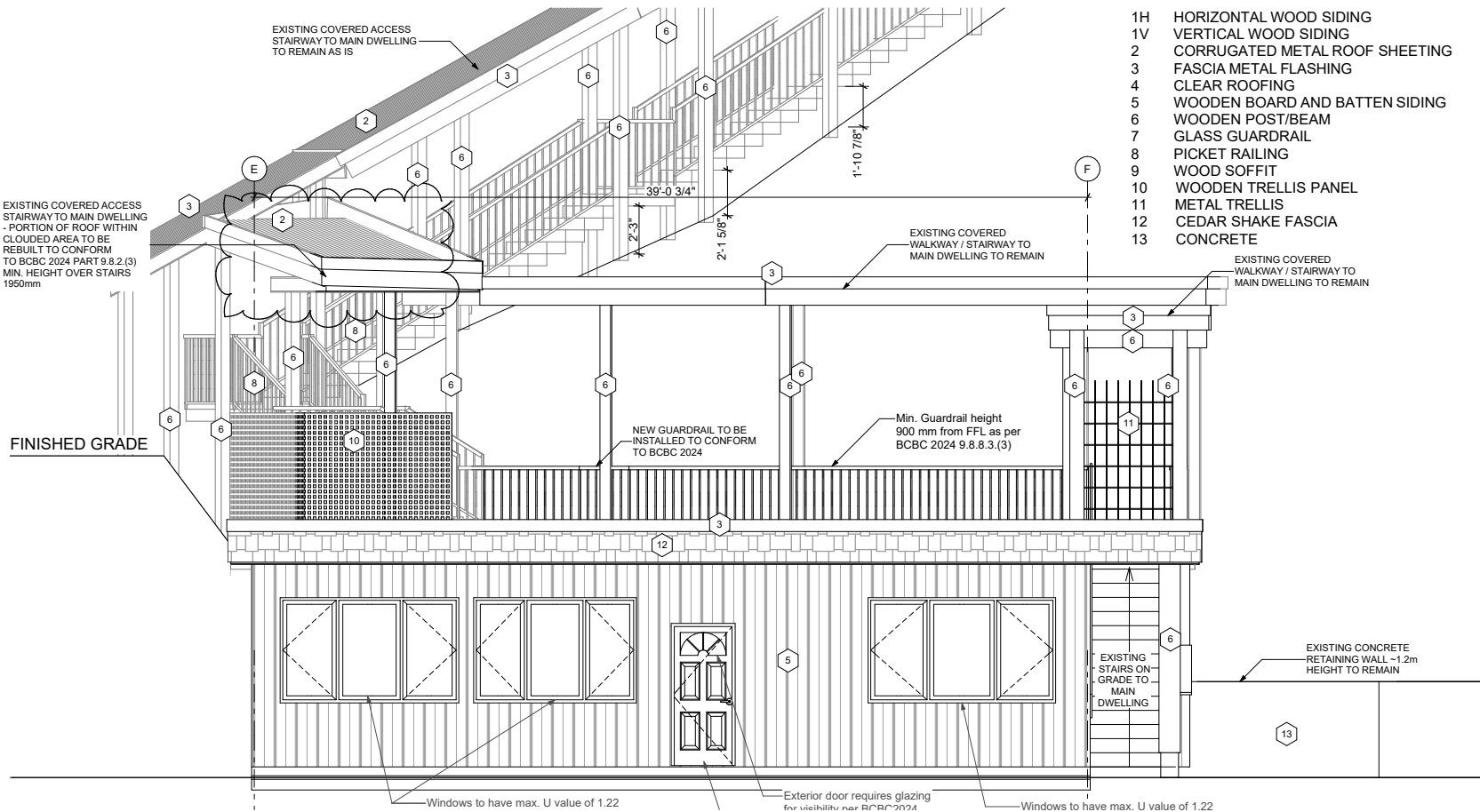
EXTERIOR FINISHES:

- 1H HORIZONTAL WOOD SIDING
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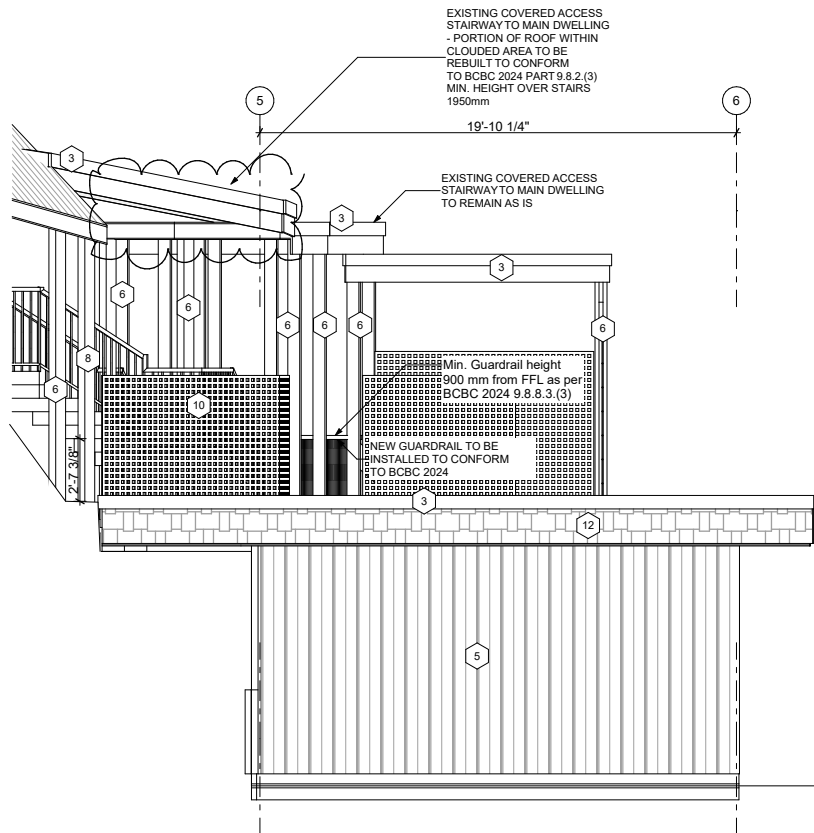




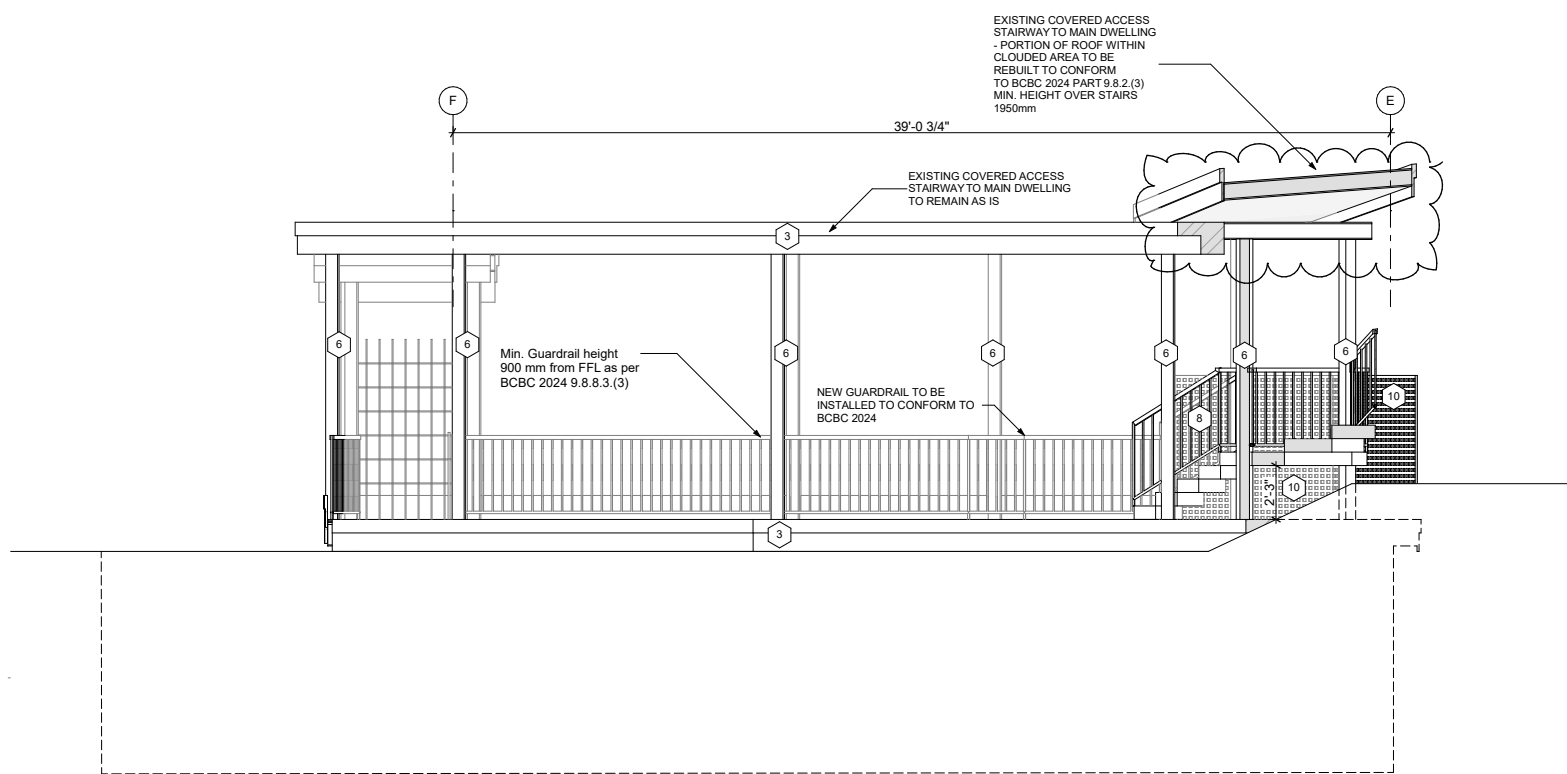
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SCALE: 1/4" = 1'-0"



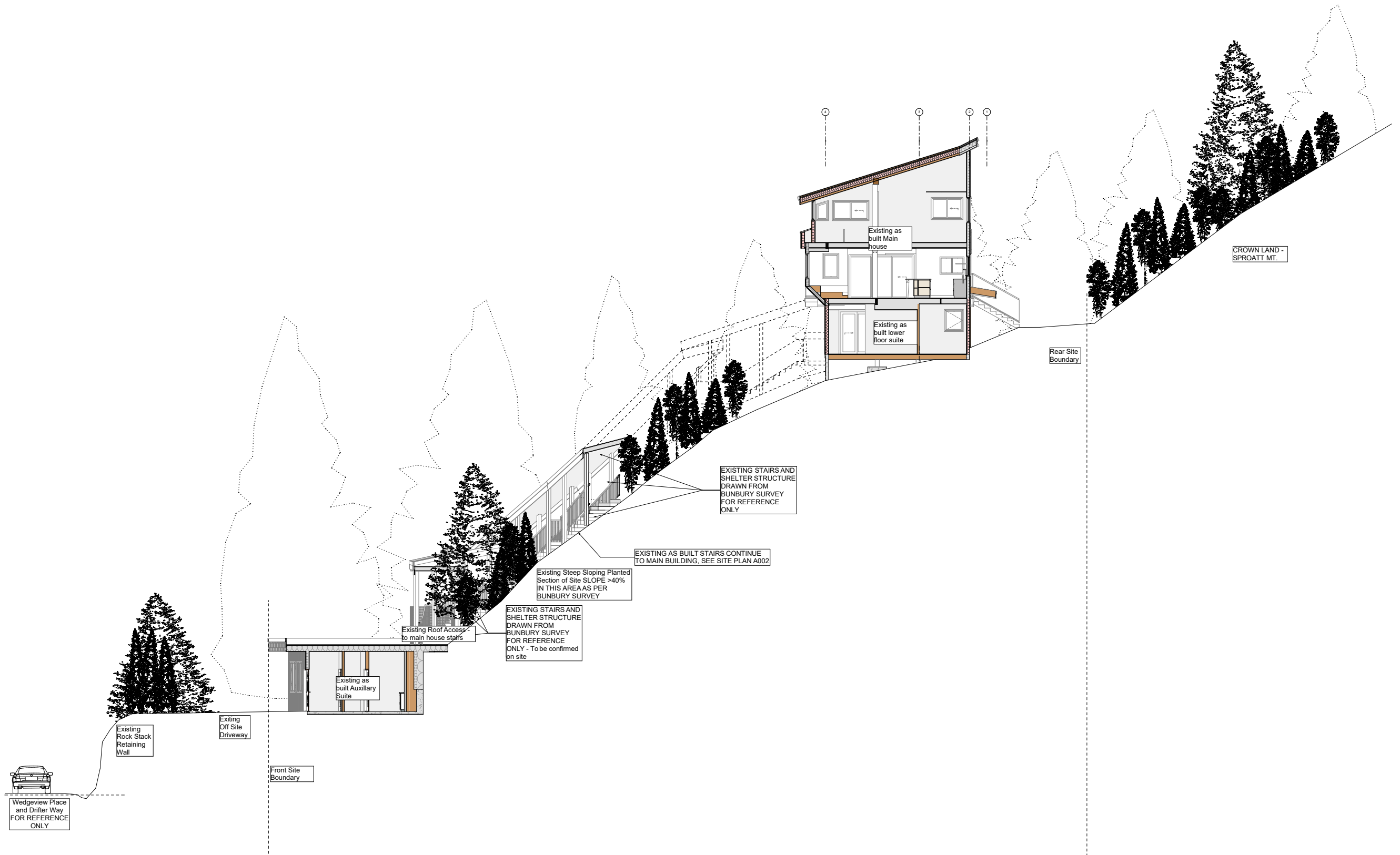
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SCALE: 1/4" = 1'-0"



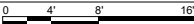
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A203 South Elevation Auxiliary Suite
SCALE: 1/4" = 1'-0"



4
A203 East Elevation Auxiliary Suite
SCALE: 1/4" = 1'-0"



1
A301 Site Section SS
SCALE: 1/8" = 1'-0"



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**#01 -
ISSUED FOR DEVELOPMENT
VARIANCE PERMIT**

ISSUE:
**2025-09-10
12:31 PM**

SHEET TITLE:
Site Section SS

SHEET ID:
A301

Issued as part of BP application which is to coordinate with this DVP application



Drawings and Specifications as instruments of service are and shall remain the property of Global Network Resource (GNAR Inc). They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation.

The General Contractor is responsible for confirming and correlating dimensions at the job site. GNAR Inc will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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Jeremy Childs

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8576 Drifter Way Whistler BC V8E 0G2
tom_syer@hotmail.com

PROJECT:
H69 - 8576 Drifter Way
8576 Drifter Way Whistler BC

This Drawing Set is to be submitted as part of Development Variance Permit 1223 - DVP01223 is applied for in tandem with BP6540/6541 to bring as-built existing non-conforming construction into compliance with BCB2024 and Zoning and Parking Bylaw 303.

Drawing size is 22"x34"
Prints on 11"x17" are at 50% scale

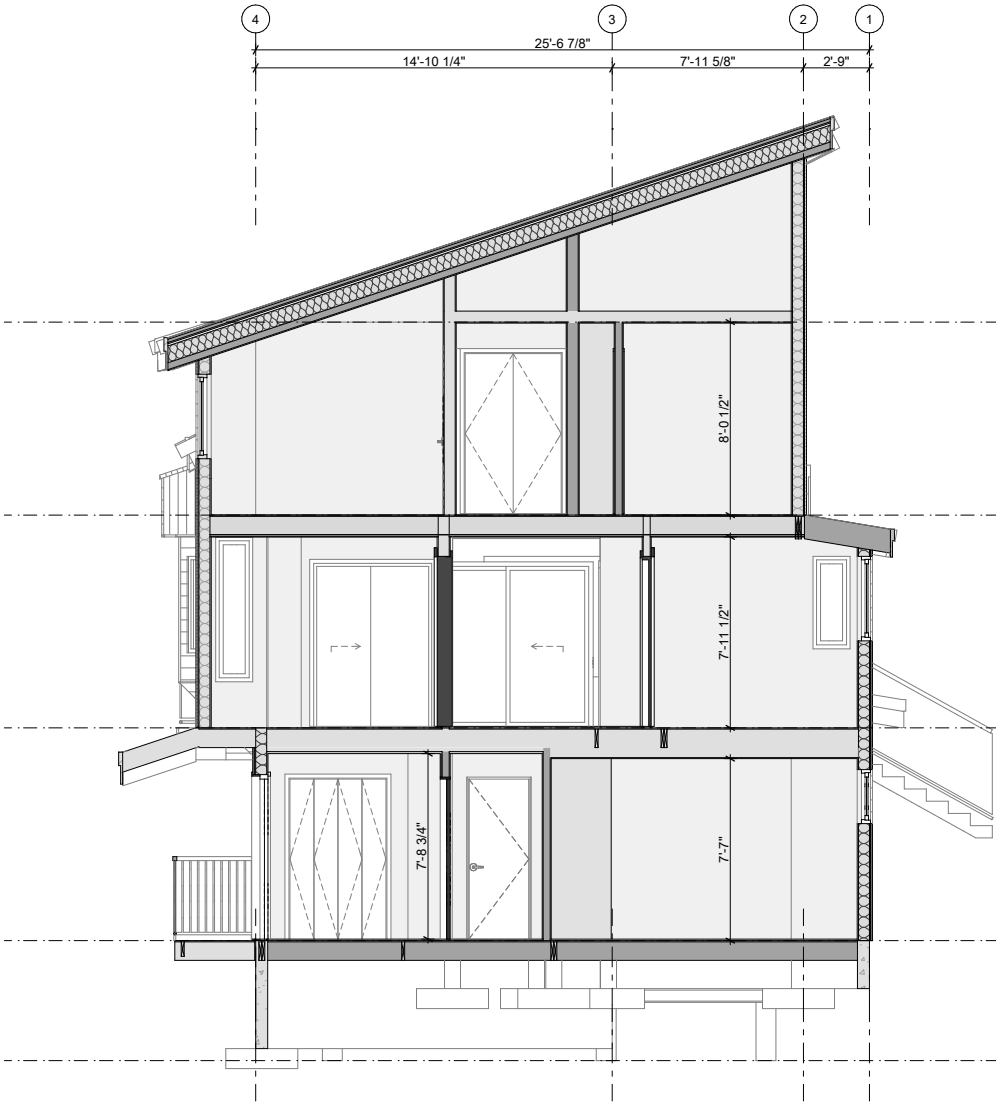
This submission is provided for permitting purposes. For construction, refer to the Issued for Construction version of these plans and supporting documents.

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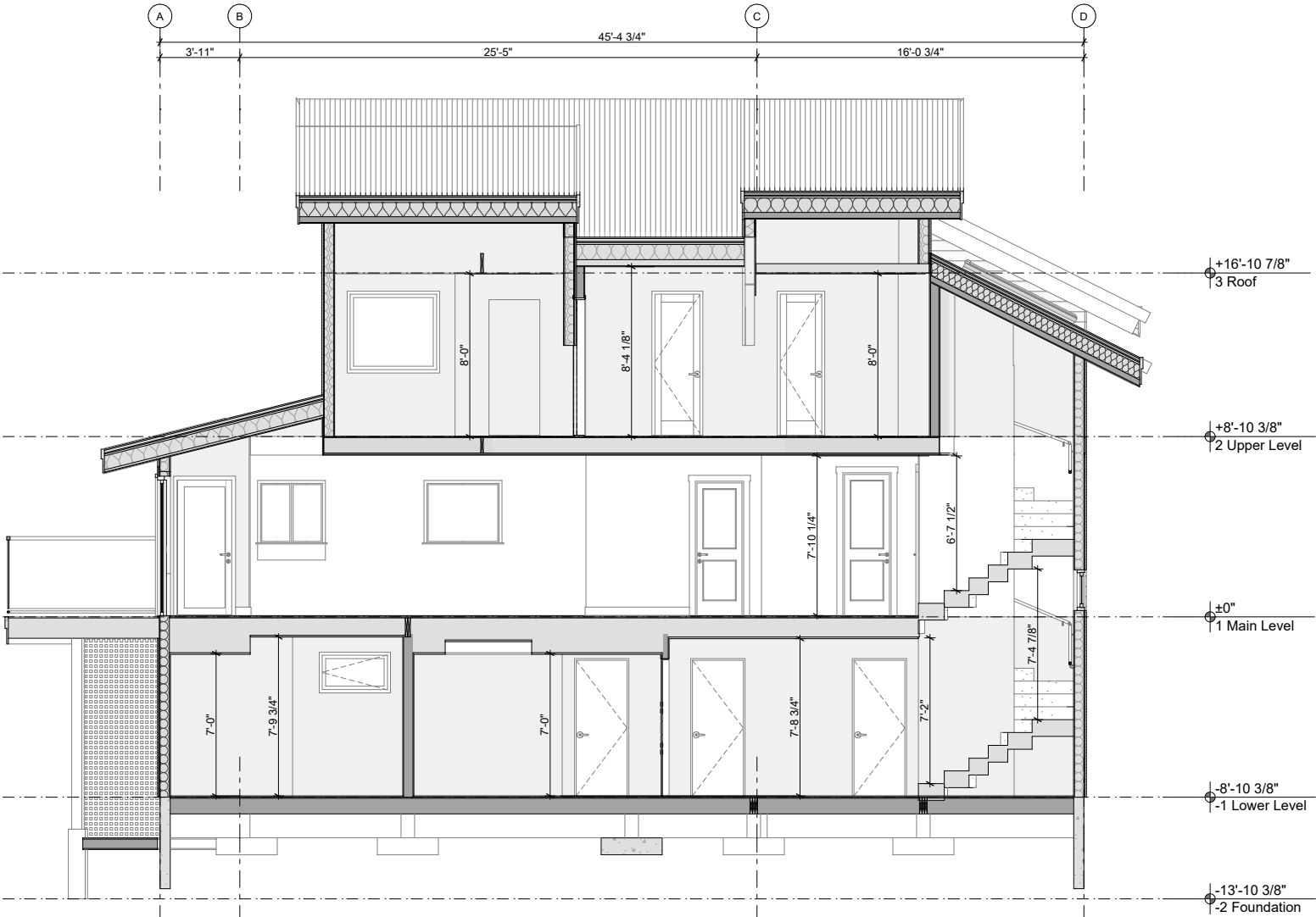
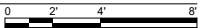
ISSUE:
2025-09-10
12:31 PM

SHEET TITLE:
Sections Main Dwelling

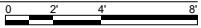
SHEET ID:
A302



1 Section AA
A302 SCALE: 1/4" = 1'-0"



2 Section BB
A302 SCALE: 1/4" = 1'-0"



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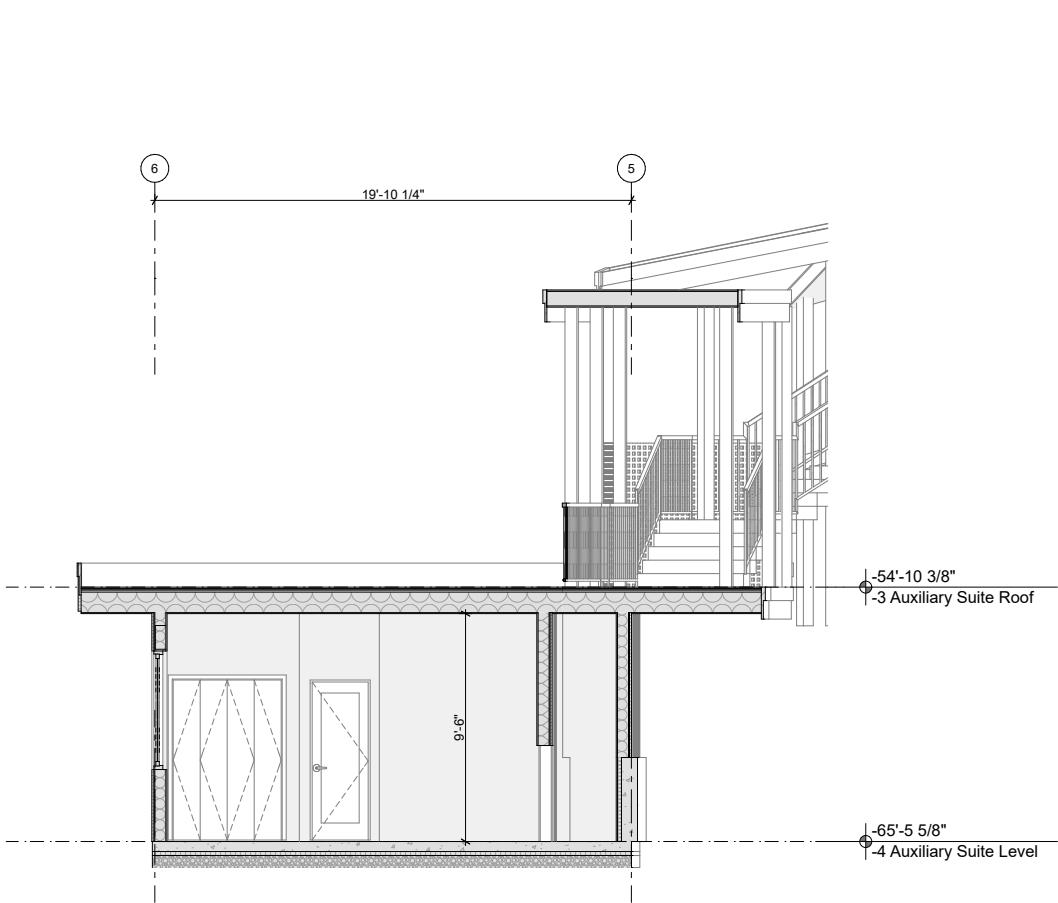
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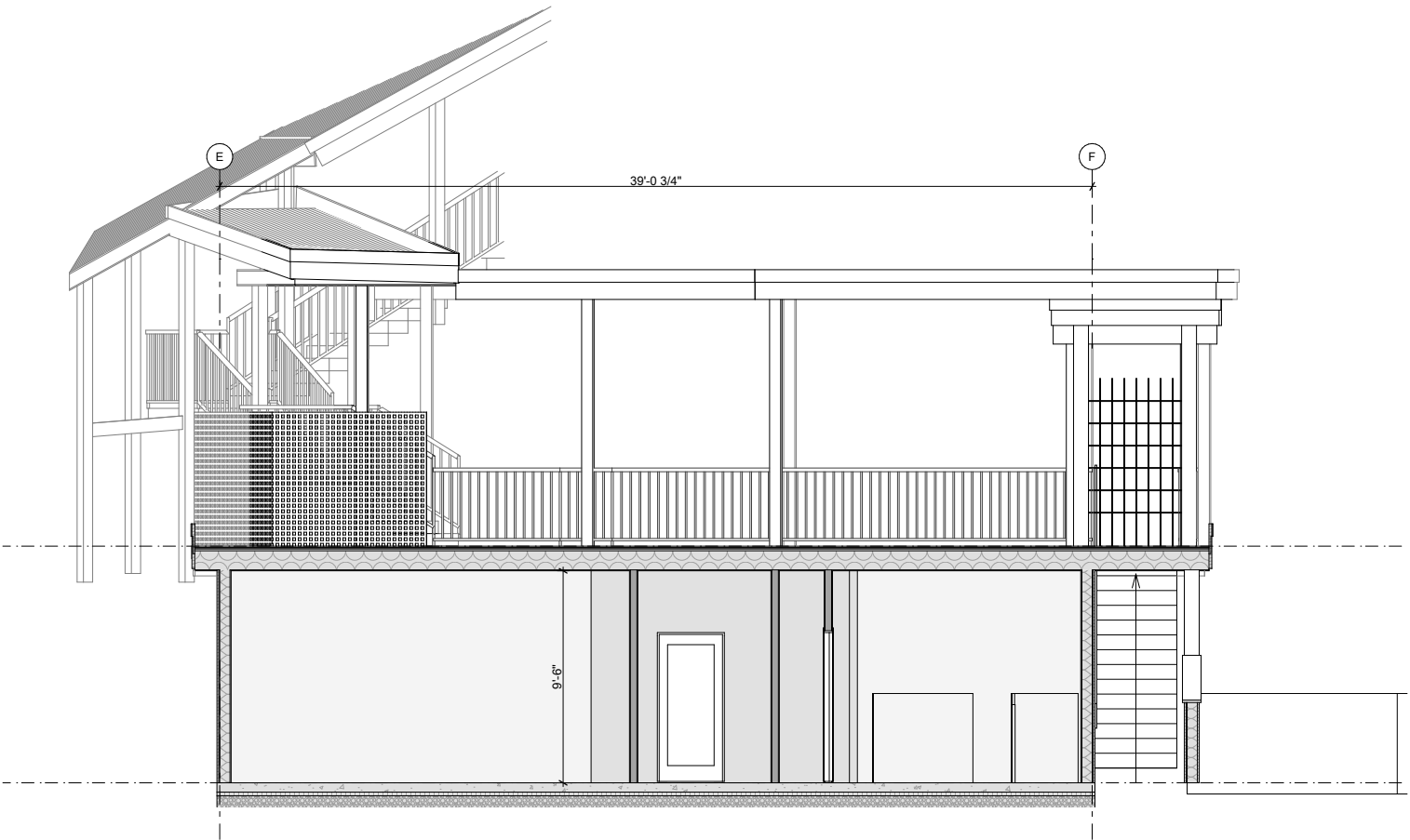
SHEET TITLE:
Sections Auxiliary Suite

SHEET ID:
A303



1 Section CC
A303

SCALE: 1/4" = 1'-0"



2 Section DD
A303

SCALE: 1/4" = 1'-0"



BC LAND SURVEYOR'S SITE PLAN

ON LOT 30, DL 7251
G 1, NWD, PLAN 13066

8576 Drifter Way, Whistler, BC

(PID 008-744-653)



All distances horizontal ground—level distances in metres and decimals thereof, unless otherwise noted.

The intended plot size is 432mm in width by 280mm in height (B size) when plotted to scale.

Elevations are on CGVD28BC geodetic datum and were derived from Natural Resource Canada's PPP service using GNSS observations.

Property line dimensions are derived from Posting Plan EPP88230.

This document was prepared for mortgage and municipal/regional district purposes and is for the exclusive use of our client, Peak Ventures.

This document shows the surveyed strutures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

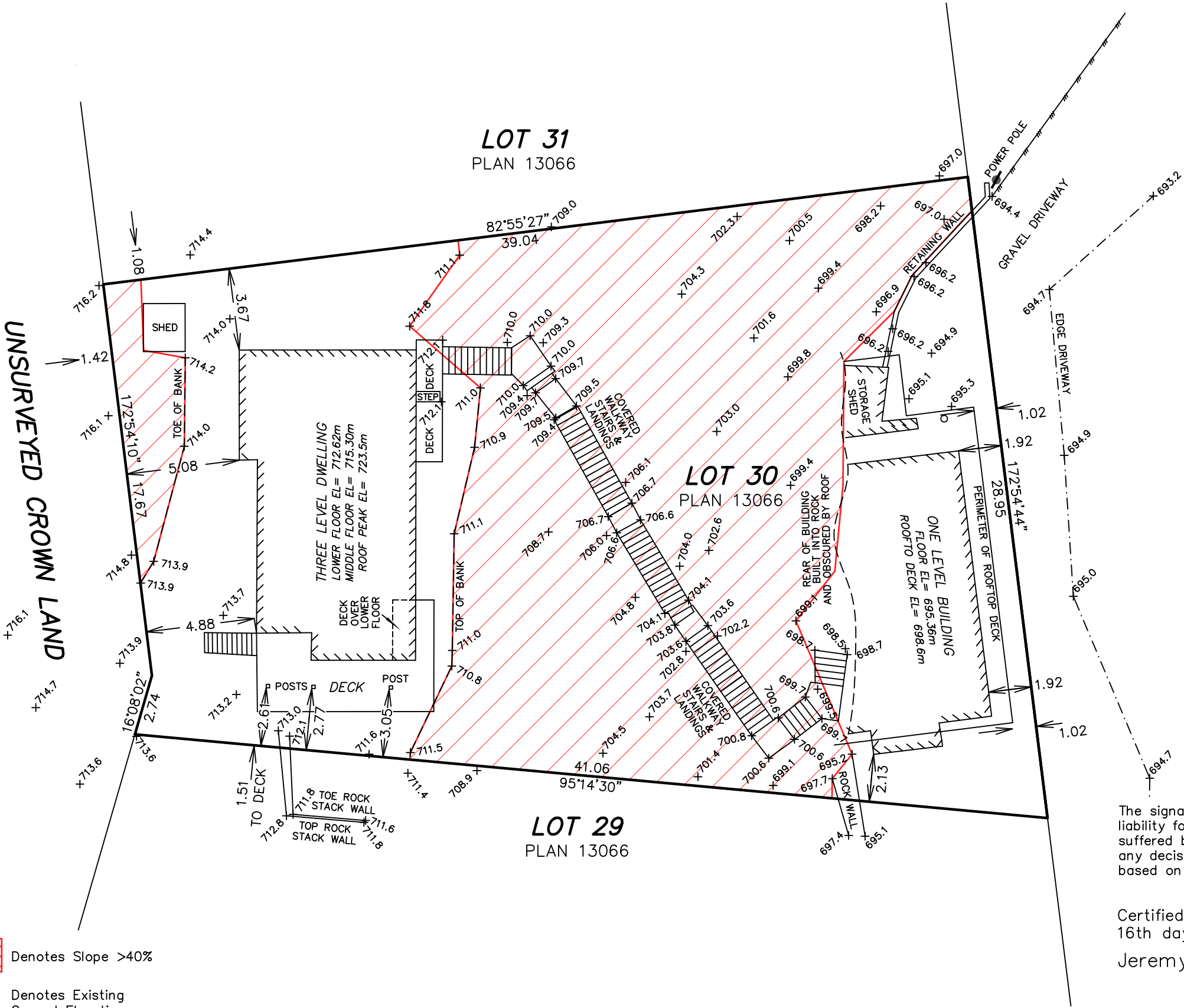
The subject property is affected by the following non-financial charges and interests which may affect positioning of structures on the property:

Covenants:
480477M
Building Scheme:
576590L

Denotes Slope >40%

Denotes Existing Ground Elevation

Dimensions of and offsets shown to structures are measured to the exterior of siding.



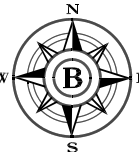
Lot Area = 965.1 m²
Lot Area Where Natural Slope Exceeds 40% = 489.5 m²
Usable Site Area= 475.6 m²

The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as as result of any decisions made, or actions taken based on this document.

Certified Correct this
16th day of September, 2021.
Jeremy T. Childs, BCLS #955

(Not valid unless originally signed and sealed, or digital signature applied)

© ALL RIGHTS RESERVED



ON LOT 30, DL 7251
G 1, NWD, PLAN 13066

(PID 008-744-653)



All distances horizontal ground-level distances in metres and decimals thereof, unless otherwise noted.

The intended plot size is 432mm in width by 280mm in height (B size) when plotted to scale.

Elevations are on CGVD28BC geodetic datum and were derived from Natural Resource Canada's PPP service using GNSS observations.

Property line dimensions are derived from Posting Plan EPP88230.

This document was prepared for mortgage and municipal/regional district purposes and is for the exclusive use of our client, Peak Ventures.

This document shows the surveyed structures and features with respect to the boundaries of the parcel described above. This document shall not be used to define property lines or property corners.

The subject property is affected by the following non-financial charges and interests which may affect positioning of structures on the property:

Covenants:

Overhangs:
480477M

Building Scheme:

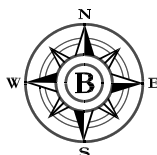
576590L

..... Denotes Roof Eave

+98.8 Denotes Existing Ground Elevation

FB 2280 Pg 94-99

File 2021-215-7.dwg



**BUNBURY & ASSOCIATES
LAND SURVEYING LTD.**

SQUAMISH 604-892-3090
WHISTLER 604-932-3770
WWW.BUNBURY-SURVEYS.COM

Dimensions of and offsets shown to structures are measured to the exterior of siding.

$$\text{Lot Area} = 965.1 \text{ m}^2$$

Lot Area Where Natural Slope Exceeds 40% = 489.5 m²

$$\text{Usable Site Area} = 475.6 \text{ m}^2$$

The signatory accepts no responsibility or liability for any damages that may be suffered by a third party as as result of any decisions made, or actions taken based on this document.

Certified Correct this
8th day of June, 2022.

Jeremy T. Childs, BCLS #955

(Not valid unless originally signed and sealed, or digital signature applied)

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TITLE SEARCH PRINT

2021-10-07, 12:03:20

File Reference: H69 Title DPV

Requestor: [REDACTED]

Declared Value \$2080000

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN******Land Title District**

VANCOUVER

Land Title Office

VANCOUVER

Title Number

CA7908654

From Title Number

CA901847

Application Received

2019-12-04

Application Entered

2020-01-02

Registered Owner in Fee Simple

Registered Owner/Mailing Address:

TOMMY MARVEN SYER, [REDACTED]

TAMARA MAUREEN LITTLE, [REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]

AS JOINT TENANTS

Taxation Authority

Whistler, Resort Municipality of

Description of Land

Parcel Identifier:

008-744-653

Legal Description:

LOT 30 DISTRICT LOT 7251 PLAN 13066

Legal Notations

LAND HEREIN WITHIN BUILDING SCHEME, SEE 576590L

SUBJECT TO PROVISOs, SEE CROWN GRANT 573998L

Charges, Liens and Interests

Nature:

RESTRICTIVE COVENANT

Registration Number:

480477M

Registration Date and Time:

1968-12-05 13:36

Remarks:

INTER ALIA

SEE 581400L

Nature:

MORTGAGE

Registration Number:

CA7908655

Registration Date and Time:

2019-12-04 11:12

Registered Owner:

HSBC BANK CANADA

TITLE SEARCH PRINT

File Reference: H69 Title DPV

Declared Value \$2080000

2021-10-07, 12:03:20

Requestor: [REDACTED]

Duplicate Indefeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE